

WHISTLER ART RUN CENTER:

SCOPE OF WORK

1. DEMOLITION OF THE EXISTING EXIT STAIR, COMPLETE WITH FOUNDATIONS, CONNECTIONS TO EXISTING BUILDING.
2. CONSTRUCTION NEW EXTERIOR EXIT STAIR BASED ON ATTACHED DRAWINGS AND SPECIFICATIONS.
3. MAKE GOOD CONNECTION TO EXISTING BUILDING, SIDING, WEATHER RESISTANCE BARRIER, WALL SUBSTRATE ETC.
4. CHANGE EXISTING WINDOW CLEAR GLASS TO ADJUST EXIT EXPOSURE.

ZONING / BYLAW DATA

STREET ADDRESS:

PARCEL IDENTIFIER (PID):
LEGAL ADDRESS: PLAN VAP 14195 LOT B DISTRICT LOT 2246 NEW WESTMINSTER DISTRICT GROUP 1.

AUTHORITY HAVING JURISDICTION (AHJ): RESORT MUNICIPALITY OF WHISTLER

ZONING : LR6
EXISTING PARKING: UNCHANGED
PARKING PROPOSED: UNCHANGED
REQUIRED SETBACKS: UNCHANGED
PROPOSED SETBACKS: UNCHANGED
SITE AREA: N/A
EXISTING SITE COVERAGE:
PROPOSED SITE COVERAGE:
EXISTING BUILDING GFA:
PROPOSED BUILDING GFA:

BUILDING CODE DATA

BC BUILDING CODE: 2024
REGULATED BY: PART 3 (Post Disaster Building)

OCCUPANCY:

1. MAJOR OCCUPANCY:
2. TOTAL BUILDING AREA:
3. STOREYS:
4. NO. OF STREETS FACING:
5. SPRINKLER:
6. CONSTRUCTION:

GRADE: NOT CONFIRMED, AS EXISTING
SUITE OCCUPANT LOAD:

EXISTING WASHROOMS: NOT CONFIRMED, AS EXISTING
PROPOSED WASHROOMS: NOT CONFIRMED, AS EXISTING

CONSTRUCTION NOTES:

CONTRACTOR MUST REVIEW THE FOLLOWING W/ THE ARCHITECT BEFORE DRAWINGS WILL BE ISSUED FOR CONSTRUCTION:

- CONSTRUCTION SEQUENCING (DETAILS).
- ALL MATERIALS SPEC. (INSULATIONS, MEMBRANES, TAPES, CAULKS, ETC.).

INSPECTIONS SCHEDULE:

- ARCHITECT MUST BE NOTIFIED FOR ALL INSPECTIONS INCLUDING:
AHJ, PROFESSIONAL CONSULTANTS ETC AND PROVIDED WITH FIELD REVIEW REPORTS.
• CONTRACTOR IS TO PROVIDE THE ARCHITECT WITH MIN. 48 HOUR NOTICE FOR INSPECTIONS (IF REQUIRED).
1. SITE PREP / DEMOLITION COMPLETE.
2. FOUNDATION COMPLETE / MAKE GOOD EXISTING SIDING AS REQUIRED. ALL WORK TO MATCH EXISTING.
3. FRAMING COMPLETE (PROVIDE A GAS/ELECTRICAL NOTIFICATION OF INSTALLATION FORM AT FRAMING INSPECTION.)
4. ELECTRICAL ROUGH IN COMPLETE.
5. FIRE STOPPING/FIRE BLOCKING.
6. INSULATION COMPLETE WITH POLY VAPOR BARRIER.
7. DRYWALL, ACOUSTIC CEILINGS/WALLS COMPLETE.
8. FIXTURES, FINISHES COMPLETE.
9. FINAL INSPECTION.

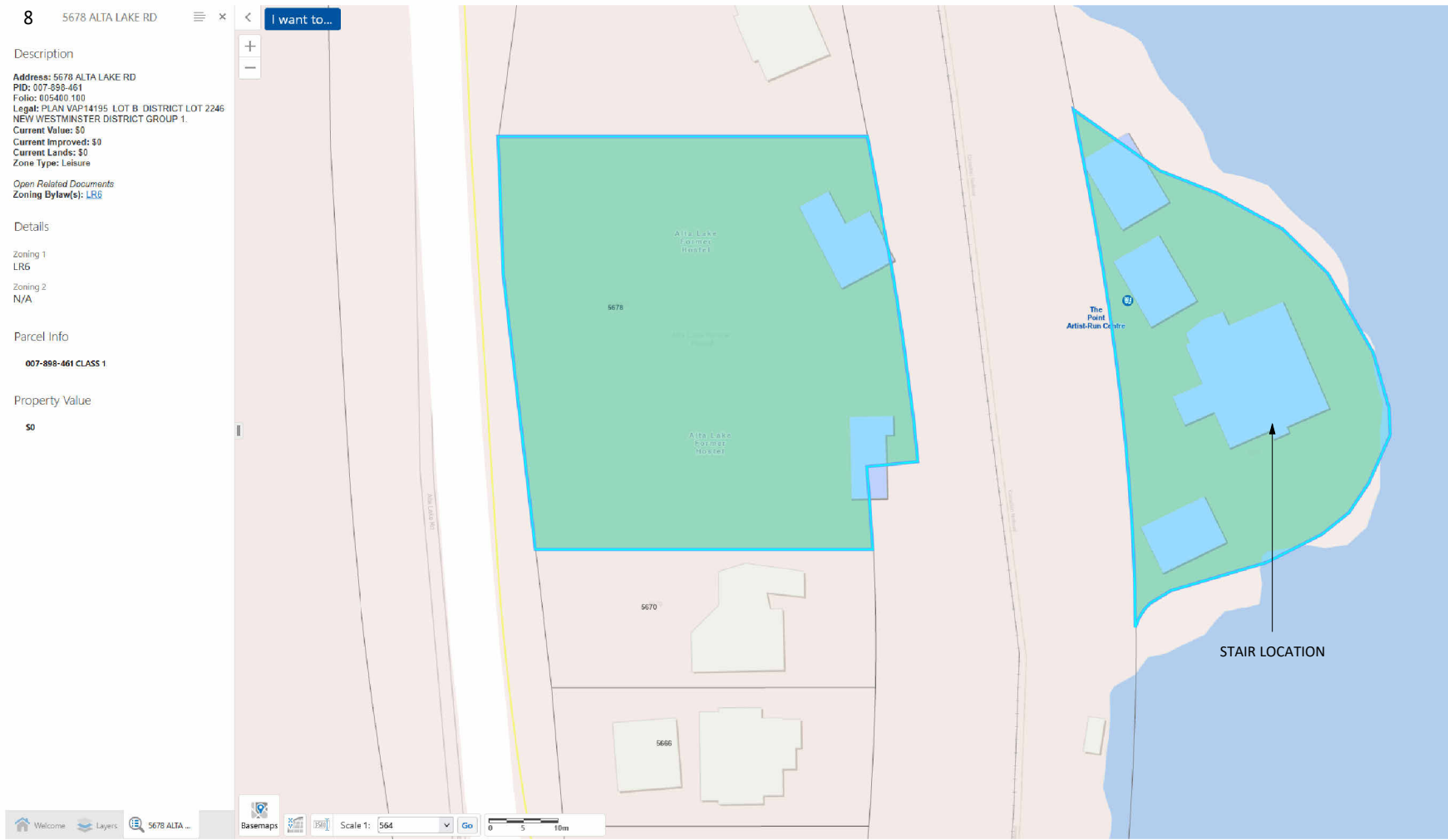
DOCUMENTATION REQUIRED TO BE SUBMITTED TO ARCHITECT:

- CLIENT/ CONTRACTOR TO ENSURE THE FOLLOWING ARE MADE AVAILABLE TO THE ARCHITECT;
1. AHJ INSPECTION CARDS.
2. ELECTRICAL PERMIT + PROOF OF PERMIT CLOSURE.
3. ALL CONSULTANT FIELD REVIEWS.

THE GC SHOULD COLLECT THE ABOVE AND PROVIDE IT TO THE ARCHITECT ONLY WHEN ALL THE DOCUMENTS HAVE BEEN COLLECTED.

DRAWING LIST - BP

Sheet Number	Sheet Name	Drawn By	Checked By	Sheet Issue Date	Current Revision	Current Revision Description	Current Revision Date
BP A001	COVER+SITE PLAN	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A002	DEMOLITION AND CLEARANCE REQ	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A003	PLANS	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A004	SECTIONS	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A005	LANDINGS	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A006	ROOF & CONNECTIONS	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A007	ELEVATIONS	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01
BP A008	PERSPECTIVES	DV/SK	DV	2025-04-01	B	Structural fixings added	2025-04-01



PROJECT DIRECTORY:

ARCHITECTURAL

Derek Venter, Architect AIBC
DVAD inc. Derek Venter Architectural Design.
P: +1.604.962.1177 Email: dva@dvad.org
P.O.BOX 794, Whistler, BC, CANADA, V0N 1B0

STRUCTURAL ENGINEER

Sebastian Guerrero, P.Eng, M.Eng
Chalten Engineering
P: +1.604.902.1404 Email: chaltenengineering@shaw.ca
P.O.Box 1527, Whistler, B.C., V0N 1B0

SURVEYOR

N/A

GENERAL CONTRACTOR

TBC.

GEOTECHNICAL

Evan Sykes
EXP Engineering
P: +1.604.815.7197 evan.sykes@exp.com
275-3001 Wayburne Drive
Burnaby BC V5G 4W3

THE FOLLOWING SHOP DRAWINGS SHOULD BE PROVIDED TO THE ARCHITECT BEFORE MATERIAL IS ORDERED:

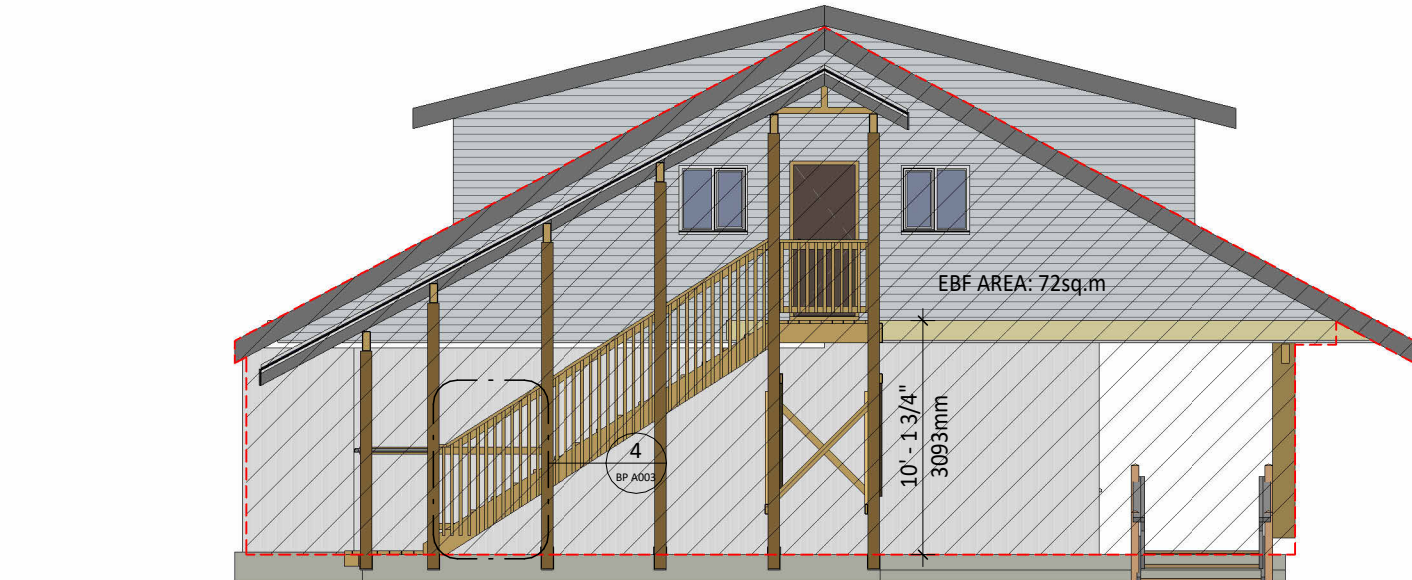
1. WIRED GLASS C/W DETAILS ON FRAME IF FRAME REQUIRES REPLACEMENT.
2. LED LIGHTING COMPLETE WITH LUX SPECIFICATIONS AND REQUIREMENTS.
3. NEW LIGHTS TO BE CONNECTED TO BATTERY PACKS FOR ENSURED FUNCTION DURING POWER FAILURE.



2 SITE PLAN
1 : 500

AREA UPPER FLOOR: 110 sq.m
TOTAL AREA: 110 x 1.85 = 204 PERSON OCCUPANCY.

T3.1.17.1 OCCUPANCY LOAD:
ASSEMBLY: 1.85 sqm/ PERSON.
CLEANING+REPAIRING GOODS: 4.6 sqm/PERSON.



3 EBF - 72sq.m
1 : 100

- EBF AREA: 147 SQ.M.
CLOSEST DISTANCE TO PROPERTY LINE: 3M.
T 3.2.3.1.-B UNSPRINKLERED BUILDINGS -
F3 OCCUPANCY. RATIO 3:1 TO 10:1. AREA @ 147SQ.M + LD @ 5.5M. ALLOWS FOR UPO OF 23%.
T 3.2.3.7. MIN. CONST. REQ. OF EXPOSED BUILDING FACE.
F3 OCCUPANCY. UPO ALLOWED >10% TO 25%.
FRR = 1H, COMBUSTABLE OR NON COMBUSTABLE CONSTRUCTION, CLADDING NON COMBUSTABLE ALLOWED.

CONCLUSION: ALL NEW WORK ON THE ENVELOPE CAN BE COMPLETED TO MATCH EXISTING IN MATERIAL AND METHOD.

SUGGEST THAT ALL STRUCTURAL TIMBER MEMBERS WOOD SPECIES BE SPECIFIED BY THE STRUCTURAL ENGINEER AND IT BE PRESERVATIVE TREATED. SUGGEST THAT STAIR TREAD STRUCTURE, TREADS, RISERS, GUARDRAILS AND SPINDLES BE EITHER TREATED WOOD OR CEDAR. SPECIAL CARE MUST BE TAKEN TO SEAL ALL WOOD PRIOR TO PUTTING ON FINISH COATS OF PAINT (TO PREVENT BLEED THROUGH) - IF THE WOOD COMPONENTS ARE TO BE PAINTED.

FASTENERS MUST BE CAREFULLY CHOSEN TO RESIST CORROSION ESPECIALLY WHEN IN CONTACT WITH PRESERVATIVE TREATED WOOD. SUGGEST HEAVY HOT DIP GALVANIZED FASTENERS OR STAINLESS STEEL FASTENERS. SUGGEST STRUCTURAL BRACKETS AND BOLTS BE HEAVY HOT DIPPED GALVANIZED STEEL. FLASHINGS TO BE METAL PAINTED, GLAVINIZED OR ZINK.

EXTERIOR LIGHTING IS INDICATIVE ONLY AND SHOULD BE REVIEWED WITH ELECTRICIAN AND CLIENT AS REQUIRED.

INTENDED USE:

IF THESE STAIRS ARE ONLY AND NOT COMMONLY USED FOR ACCESS PURPOSES THEN NO TACTILE WARNING STRIP IS REQUIRED.
IF THESE STAIRS ARE COMMONLY USED FOR ACCESS PURPOSES THEN A TACTILE WARNING STRIP SHOULD BE PLACED AT THE TOP LANDING AS PER BCBC.
AT PRESENT, IT IS ASSUMED THESE STAIRS ARE NOT COMMONLY USED FOR ACCESS.

REVISIONS

No.	Description	Date	Issued by
A	Structural sizes as per engineer	2025-03-26	
B	Structural fixings added	2025-04-01	



NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION AND ORDER OF MATERIALS

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www.dvad.ca

PROJECT

2421

Whistler Art Run Center

ADDRESS
5678 Alta Lake Road

PROJECT PHASE

Issue for Building Permit

CLIENT

RMOW, Municipal Hall 4325 Blackcomb Way, Whistler, B.C. V8E 0X5

SHEET

COVER+SITE PLAN

DRAWN BY:

DV/SK

CHECKED BY:

DV

SHEET ISSUE DATE:

2025-04-01

SCALE:

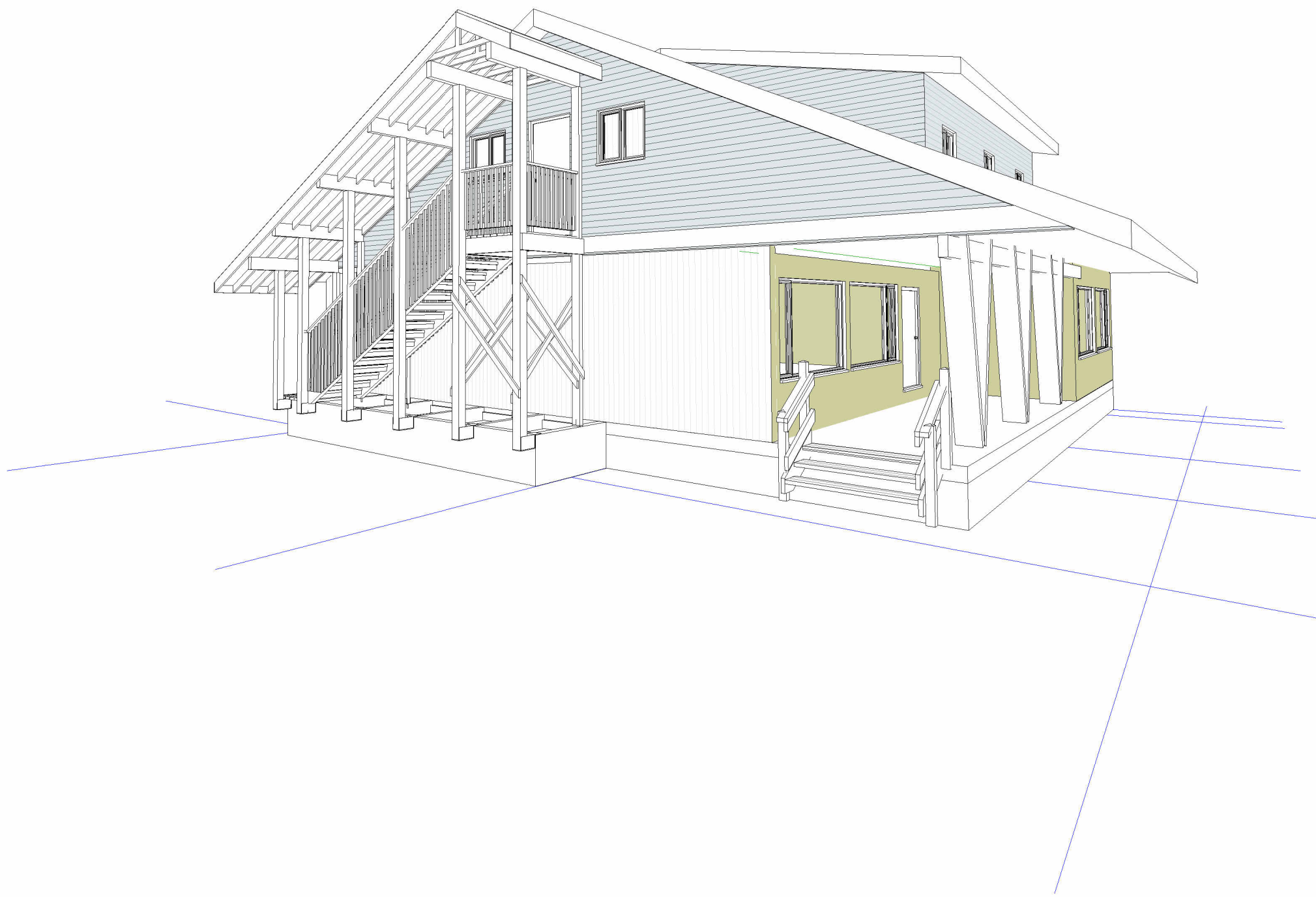
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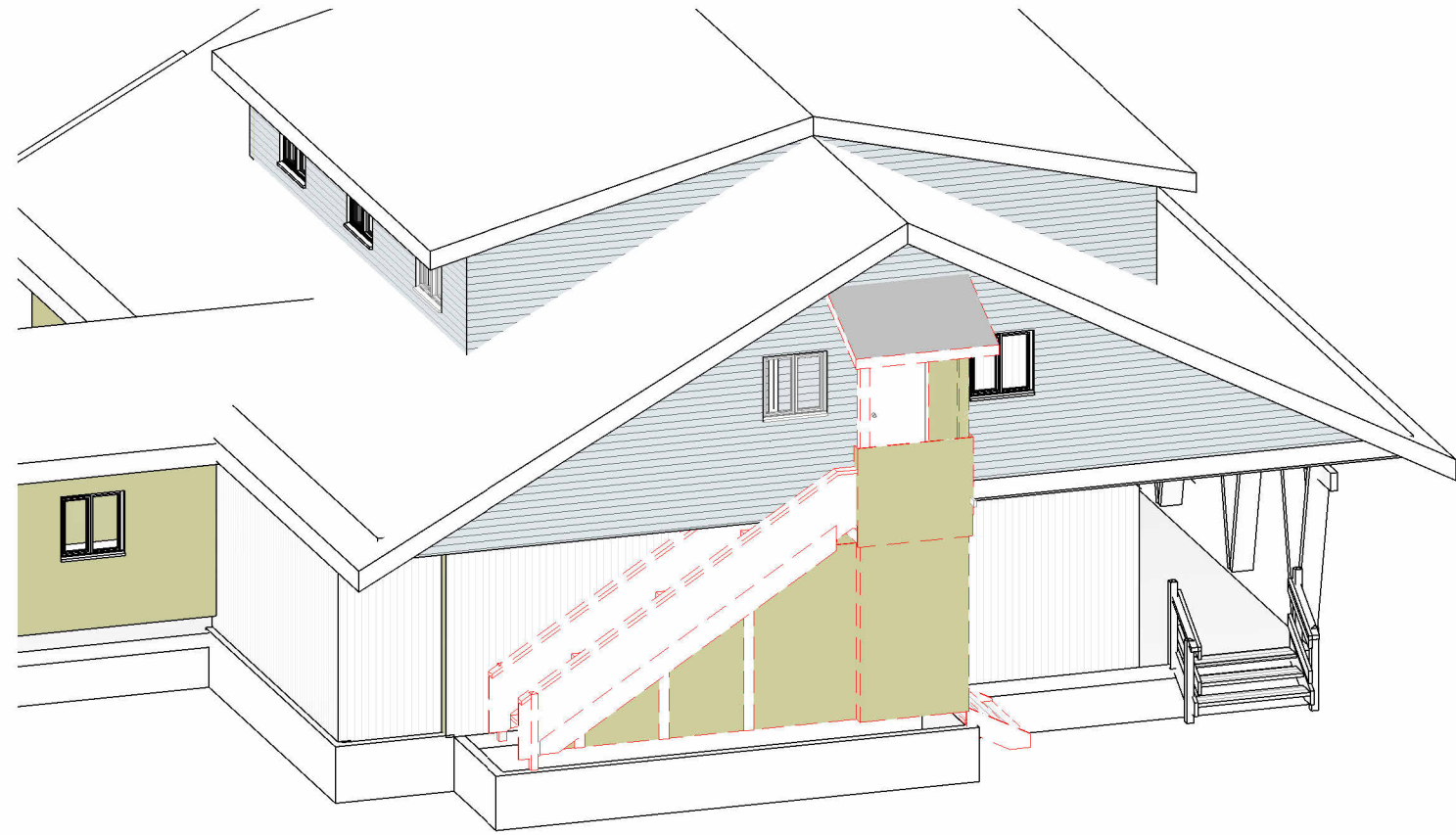
SHEET NO.

BP A001

PLOT DATE / TIME: 2025-04-01 3:45:35 PM

1 3D View A





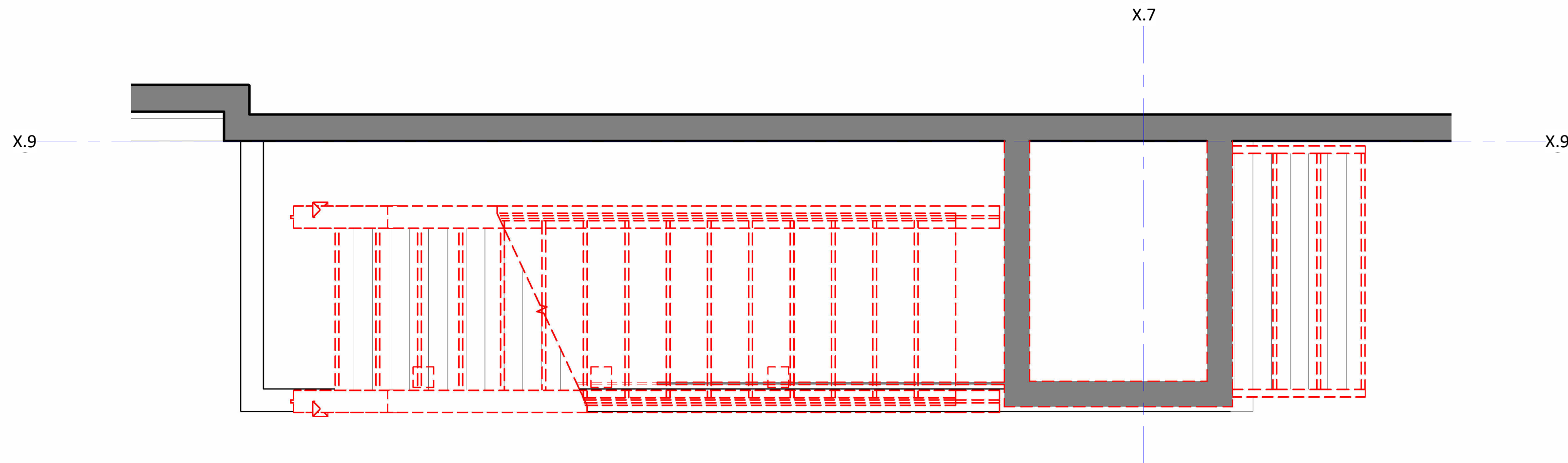
4 3D View DEMOLITION

DEMOLITION AND RESTORATION:

1. DEMOLISH EXISTING STAIR, COMPLETE WITH FOUNDATIONS AND HANDRAILS, CROSS BRACING.
2. MAKE GOOD EXISTING SIDING WHERE DAMAGED AS REQUIRED. ALL REPAIRS TO MATCH EXISTING IN MATERIAL AND FINISH SPECIFICATIONS TO MATCH LOOK.
3. GC TO PAY CAREFULL ATTENTION TO PROTECT EXISTING BUILDING WITH SPECIFIC CARE FOR ELECTRICAL AND OTHER PROTRUSIONS FROM THE BUILDING LOCATED UNDER THE EXISTING STAIR.

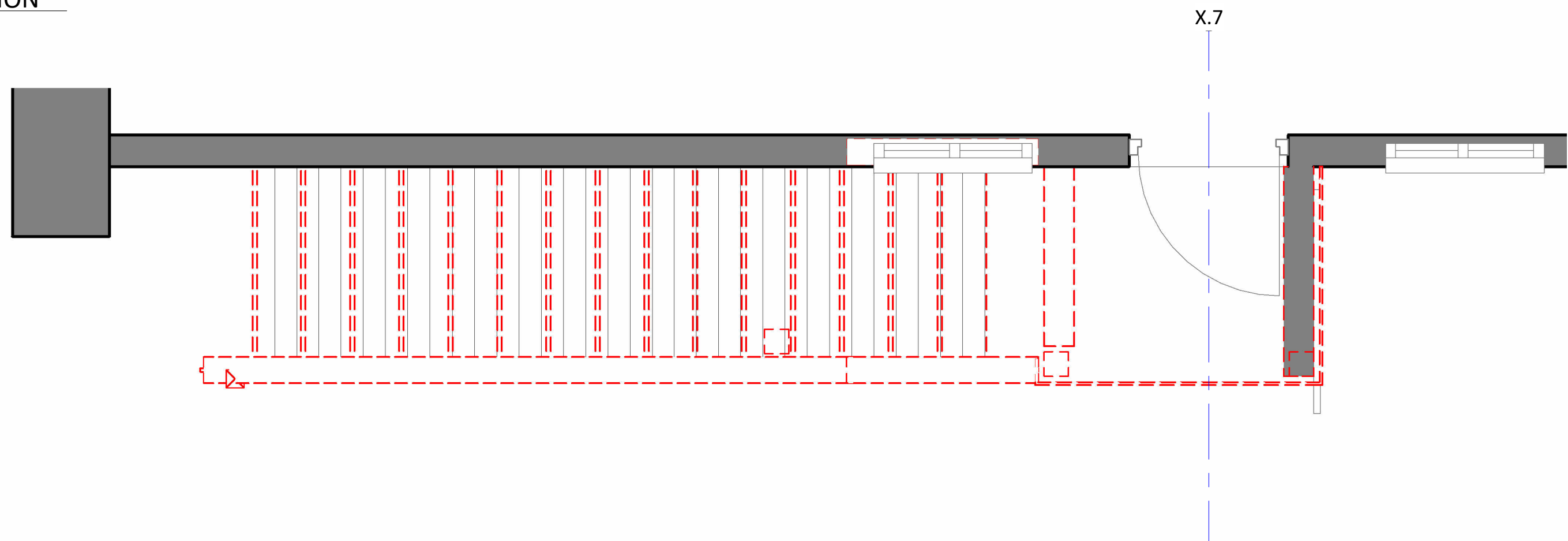
1 FLR 1 - DEMOLITION

1 : 25



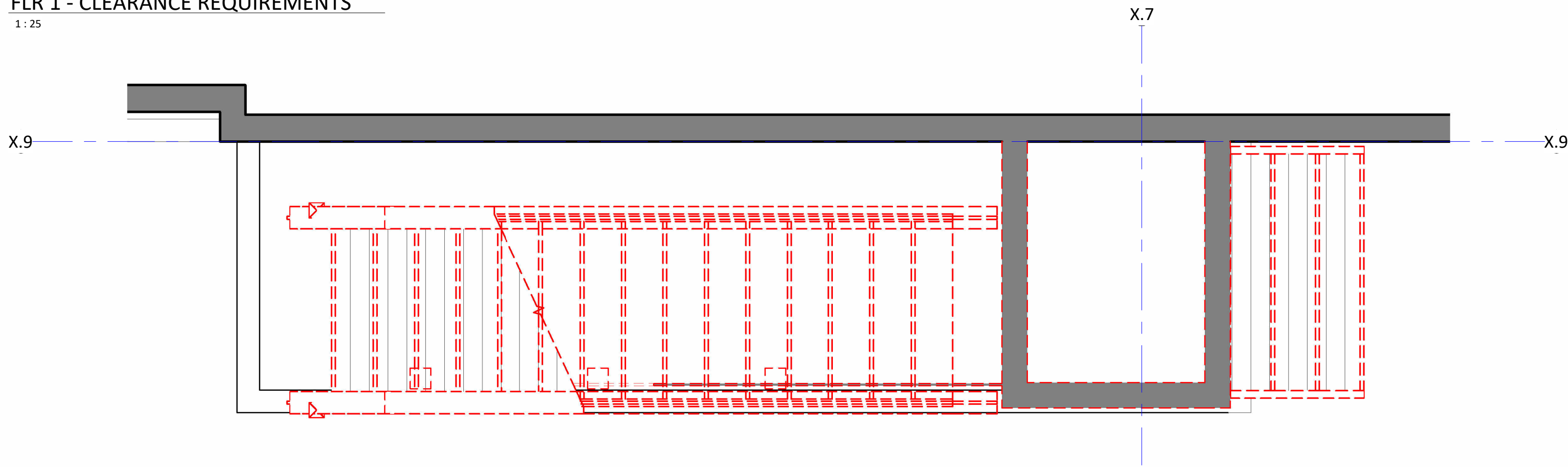
2 FLR 2 - DEMOLITION

1 : 25



3 FLR 1 - CLEARANCE REQUIREMENTS

1 : 25



PROPOSED EXIT STAIR:

1. ELECTRICAL METER CLEARANCE REQUIREMENTS MIN. 1m FROM FRONT OF EQUIPMENT.
2. WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2
3. DOOR ON FIRST FLOOR AND WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2.

RESTORATION OF THE EXISTING BUILDING ENVELOPE:

THE GC SHOULD REVIEW THE EXISTING BUILDING ENVELOPE WHERE AFFECTED BY THE DEMOLITION OF THE EXISTING STAIR AND TOP LANDING. THE ENVELOPE SHOULD BE RESTORED IN A LIKE MANNER AS TO THE CONSTRUCTION OF THE EXISTING. SHOULD THIS PRODUCE ANY PROBLEMATIC OR NON-COMPLIANCE TO THE BUILDING CODE AT THE TIME OF CONSTRUCTION THE EXPOSED ENVELOPE SHOULD BE REVIEWED BY THE ARCHITECT AND A SUITABLE SOLUTION CAN BE PROVIDED.

REVISIONS			
No.	Description	Date	Issued by
A	Structural sizes as per engineer	2025-03-26	
B	Structural fixings added	2025-04-01	



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PROJECT

2421

Whistler Art Run
Center

ADDRESS

5678 Alta Lake Road

PROJECT PHASE

Issue for Building Permit

CLIENT

RMOW, Municipal Hall 4325 Blackcomb
Way, Whistler, B.C. V8E 0X5

SHEET

DEMOLITION AND
CLEARANCE REQ

DRAWN BY:

DV/SK

CHECKED BY:

DV

SHEET ISSUE DATE:

2025-04-01

SCALE:

1 : 25

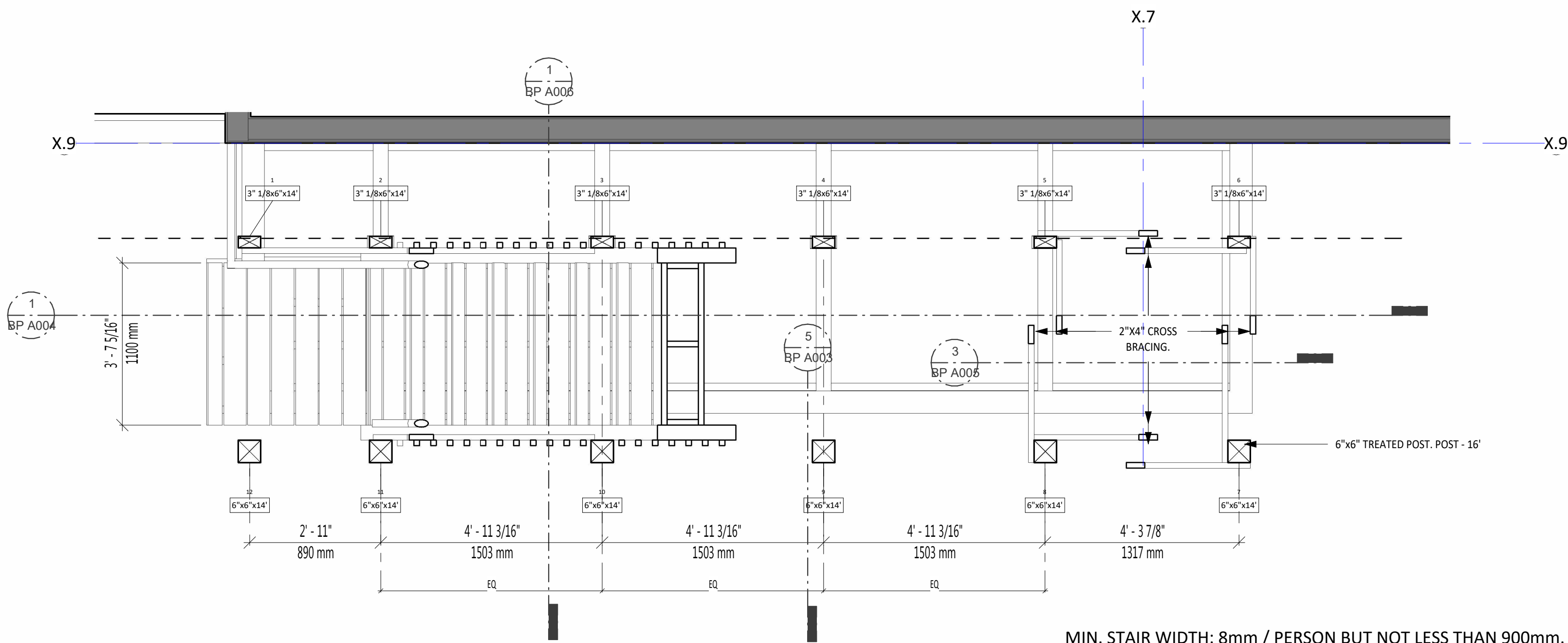
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BP A002

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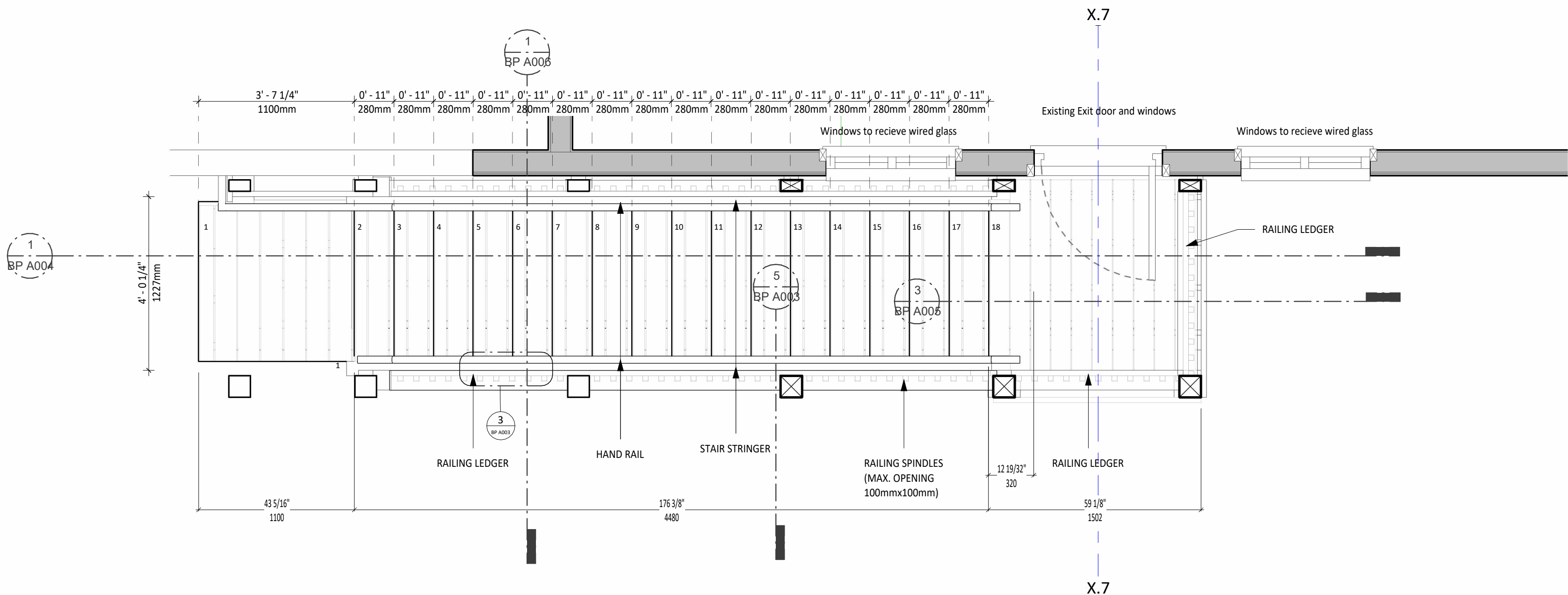
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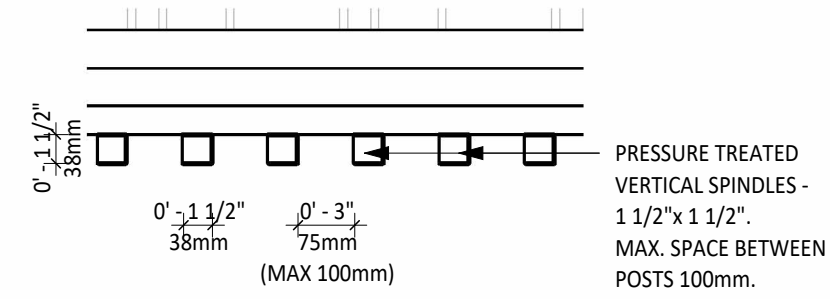


1 FLR 1 - PROPOSED
1 : 25

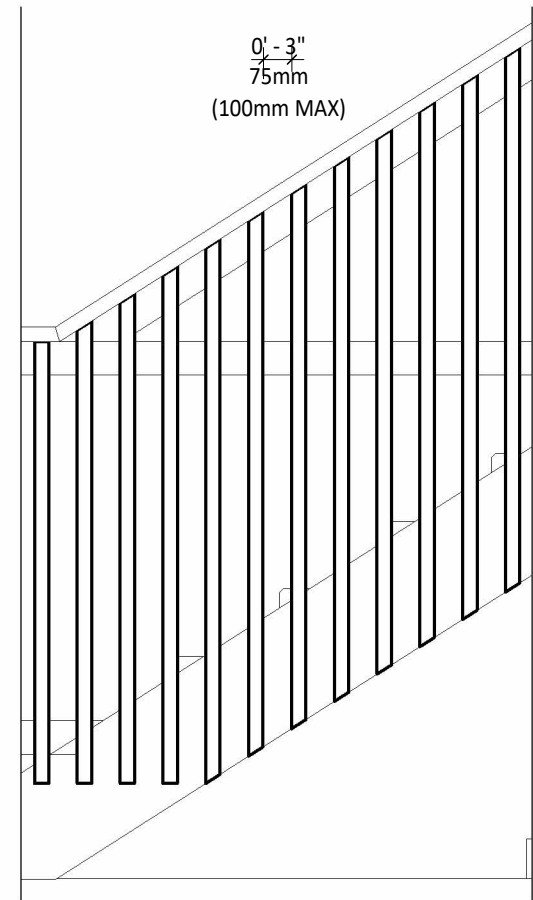
MIN. STAIR WIDTH: 8mm / PERSON BUT NOT LESS THAN 900mm.
OCCUPANCY LOAD: T 3.1.17.1
TOTAL OCCUPANY LOAD: 208 PEOPLE @ 8mm/PERSON = 1664mm.
EXISTING STAIR 1000mm WIDE.
MIN. STAIR WIDTH: 1100mm. CUMULATIVE STAIRS 2100mm
STAIR WIDTH PROPOSED: 1100mm (2 HANDRAILS REQ.)
GC CAN ADJUST WIDTH OF STAIR TO BE MAX. 1099mm TO ALLOW
FOR MAX. 1 HANDRAIL.



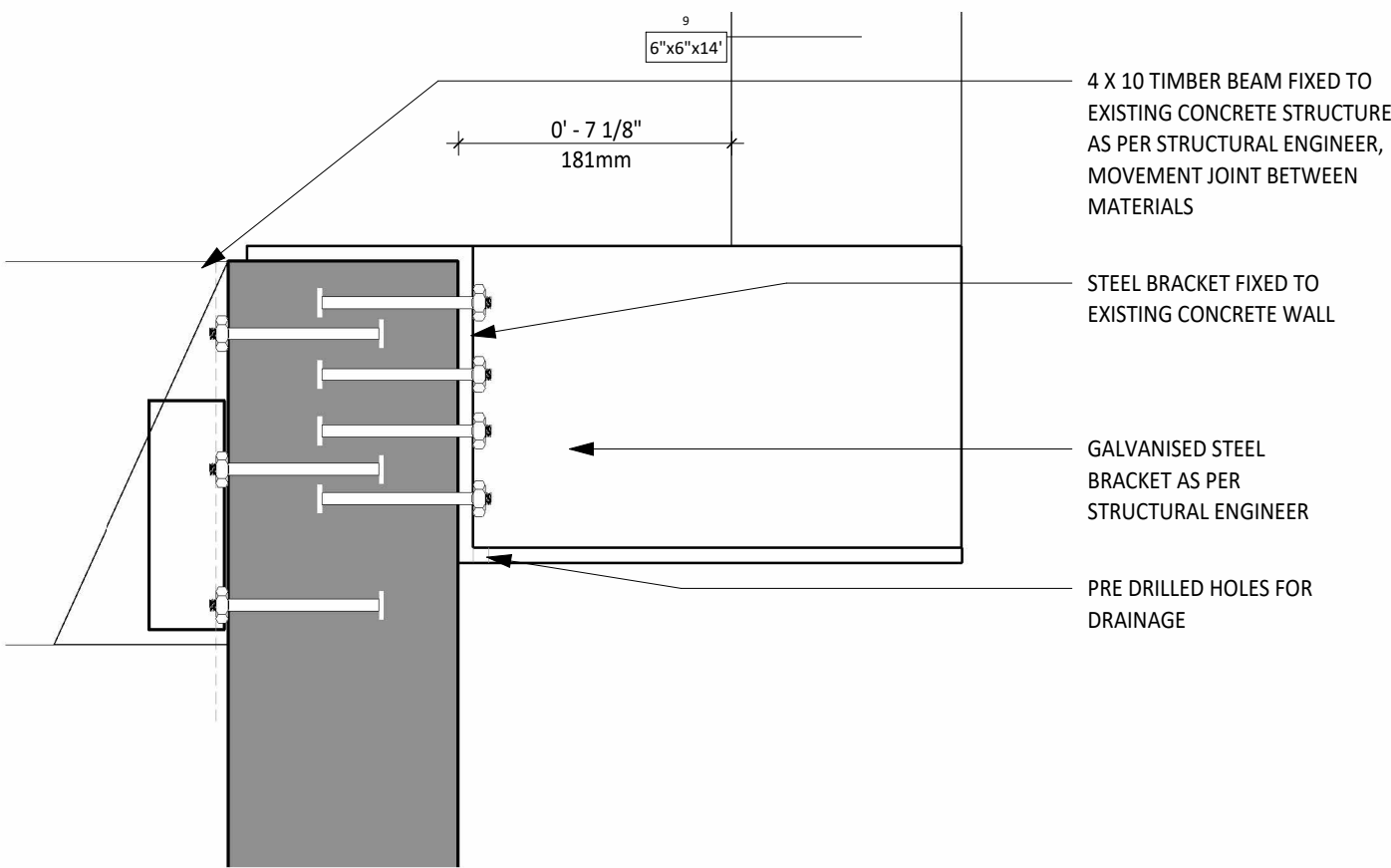
2 FLR 2 - PROPOSED
1 : 25



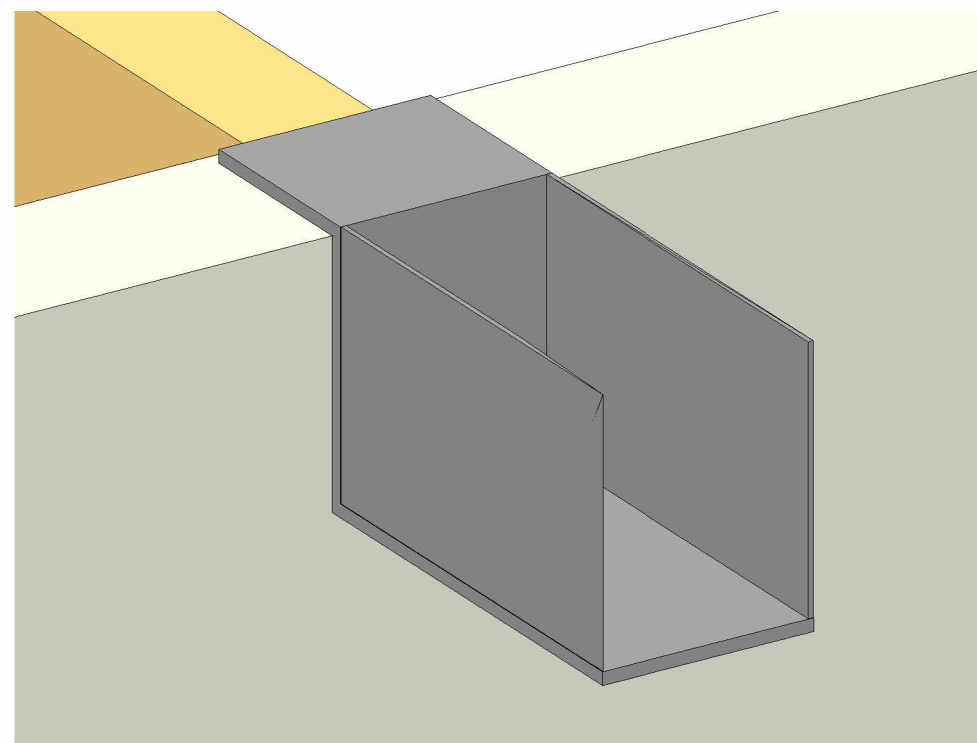
3 FLR 2 - SPINDLE SPACING
1 : 10



4 FLR 1 - SPINDLE SPACING
1 : 20



5 COMPONENT BRACKET
1 : 5



6 3D View 5
1 : 5

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DEREK VENTER ARCHITECTURAL DESIGN

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PROJECT

2421

Whistler Art Run
Center

ADDRESS
5678 Alta Lake Road

PROJECT PHASE

Issue for Building Permit

CLIENT

RMOW, Municipal Hall 4325 Blackcomb
Way, Whistler, B.C. V8E 0X5

SHEET

PLANS

DRAWN BY:

DV/SK

CHECKED BY:

DV

SHEET ISSUE DATE:

2025-04-01

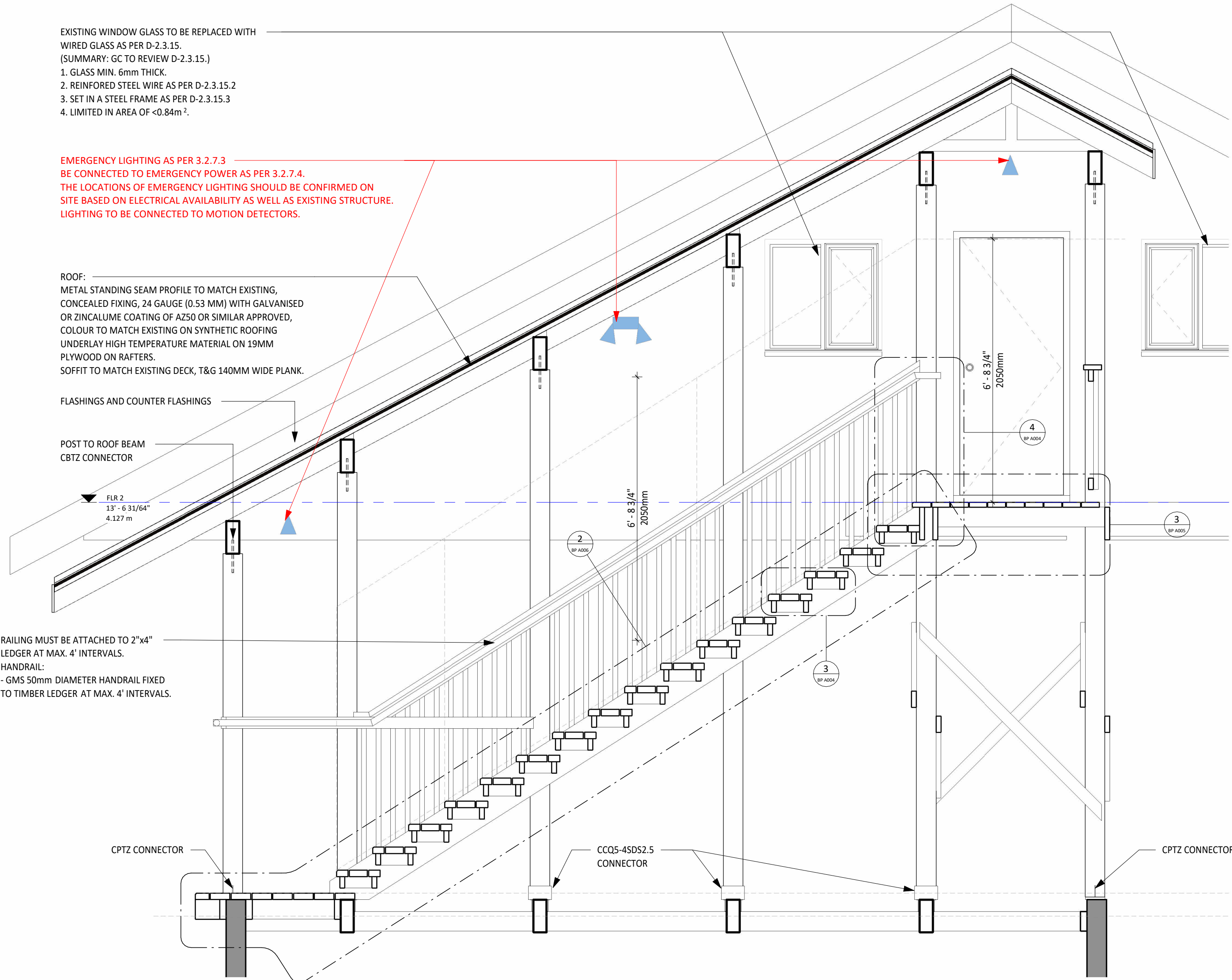
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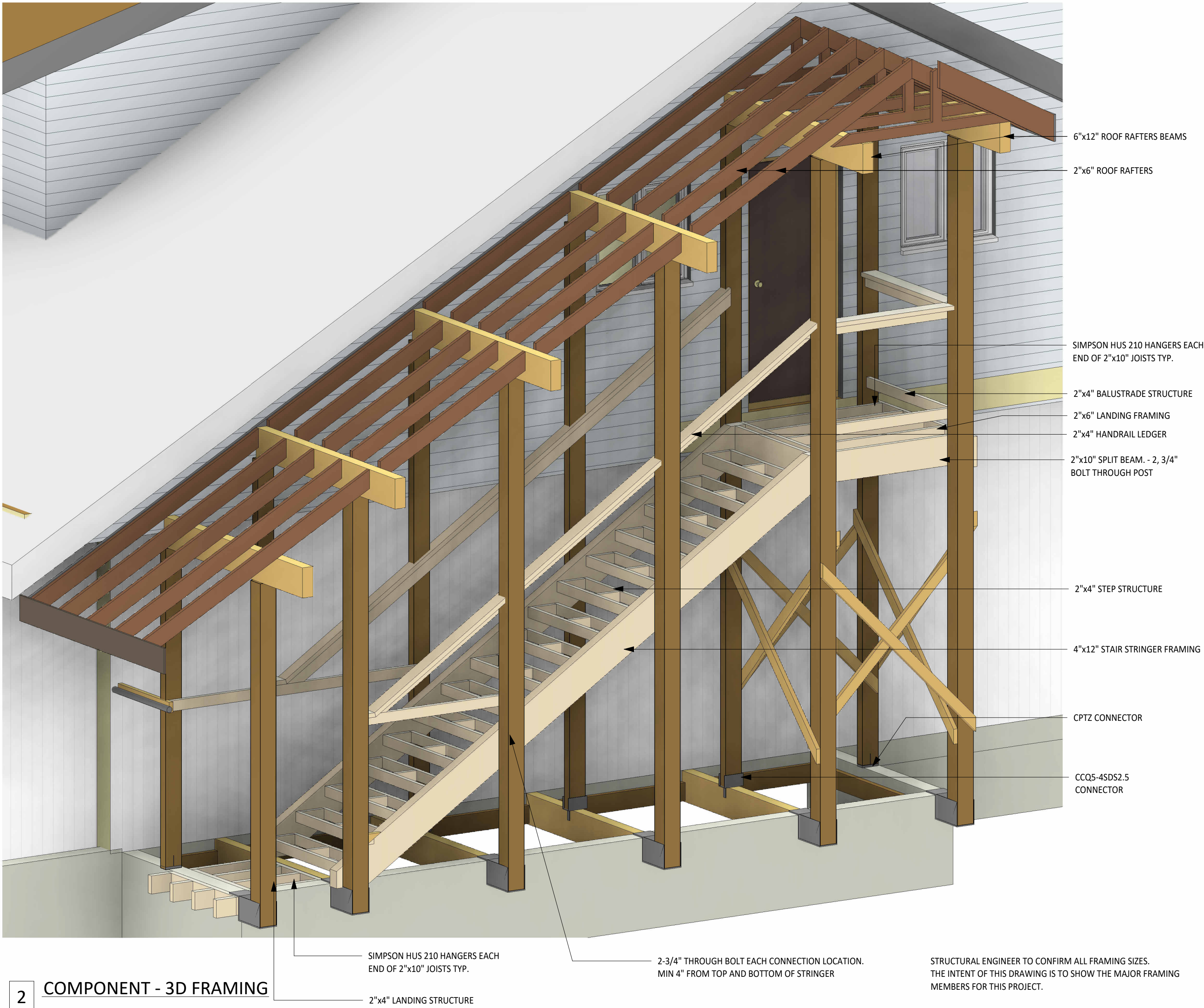
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BP A003

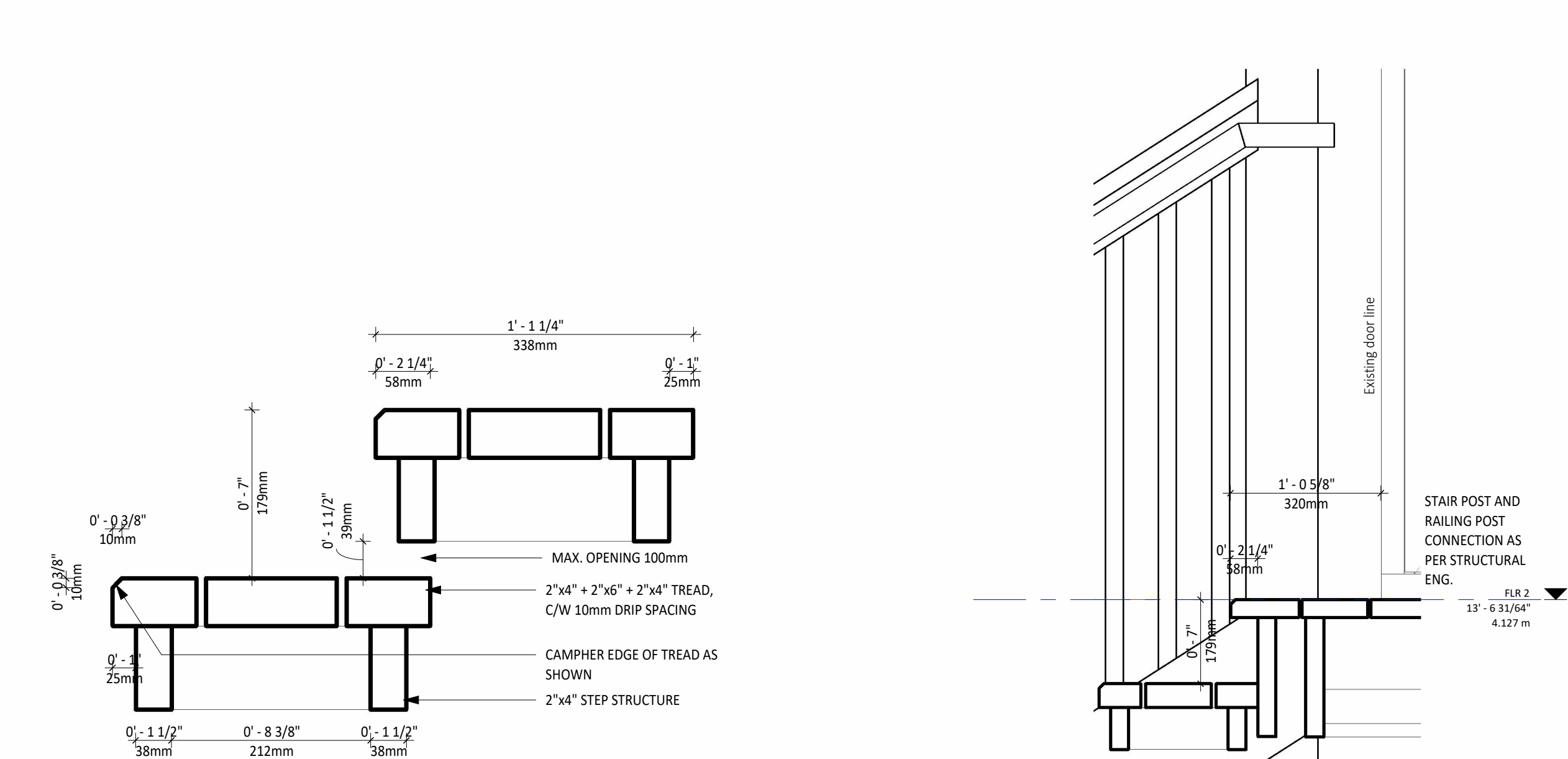
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1 PROPOSED - LONG - FACE BLDG
1 : 25



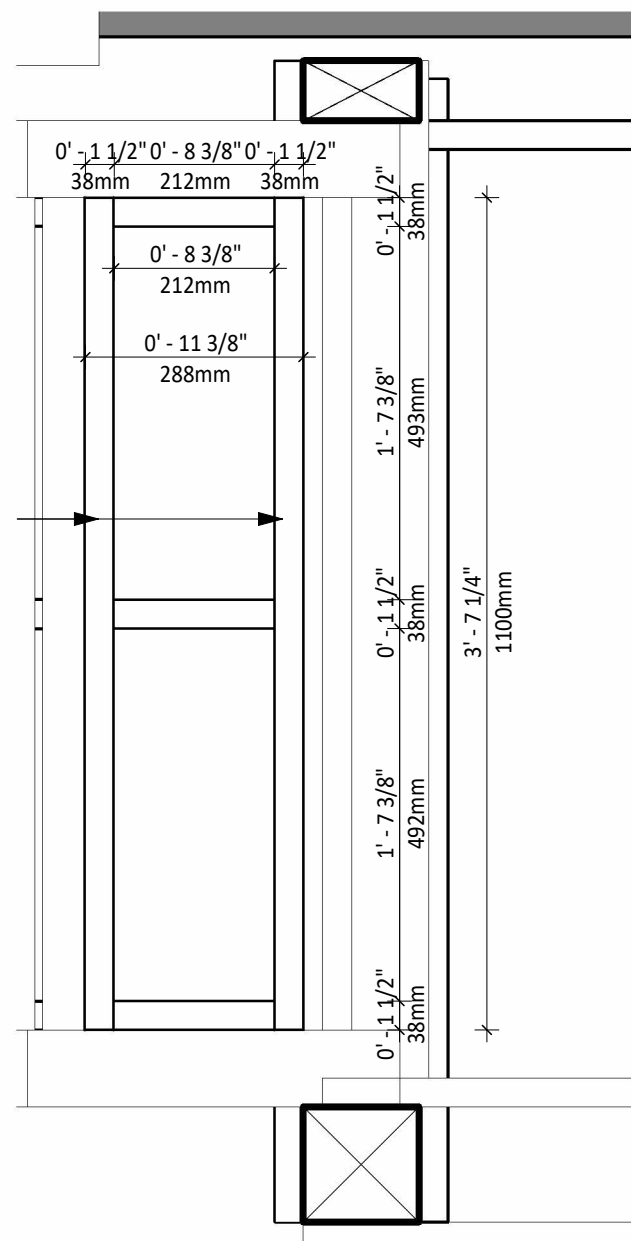
2 COMPONENT - 3D FRAMING



3 COMPONENT STEP
1 : 5

4 COMPONENT STEP 1
1 : 10

5 COMPONENT STAIR STRUCTURE
1 : 10



6 COMPONENT - TYP. STEP TREAD

7 COMPONENT - TYP. STEP STRUCTURE

2"x4" STEP STRUCTURE TO BE USED UNDER ALL STEPS. ATTACHED TO STAIR LEDGERS AS REQ.

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5678 Alta Lake Road

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CLIENT
RMOW, Municipal Hall 4325 Blackcomb Way, Whistler, B.C. V8E 0X5

SHEET
SECTIONS

DRAWN BY:
DV/SK

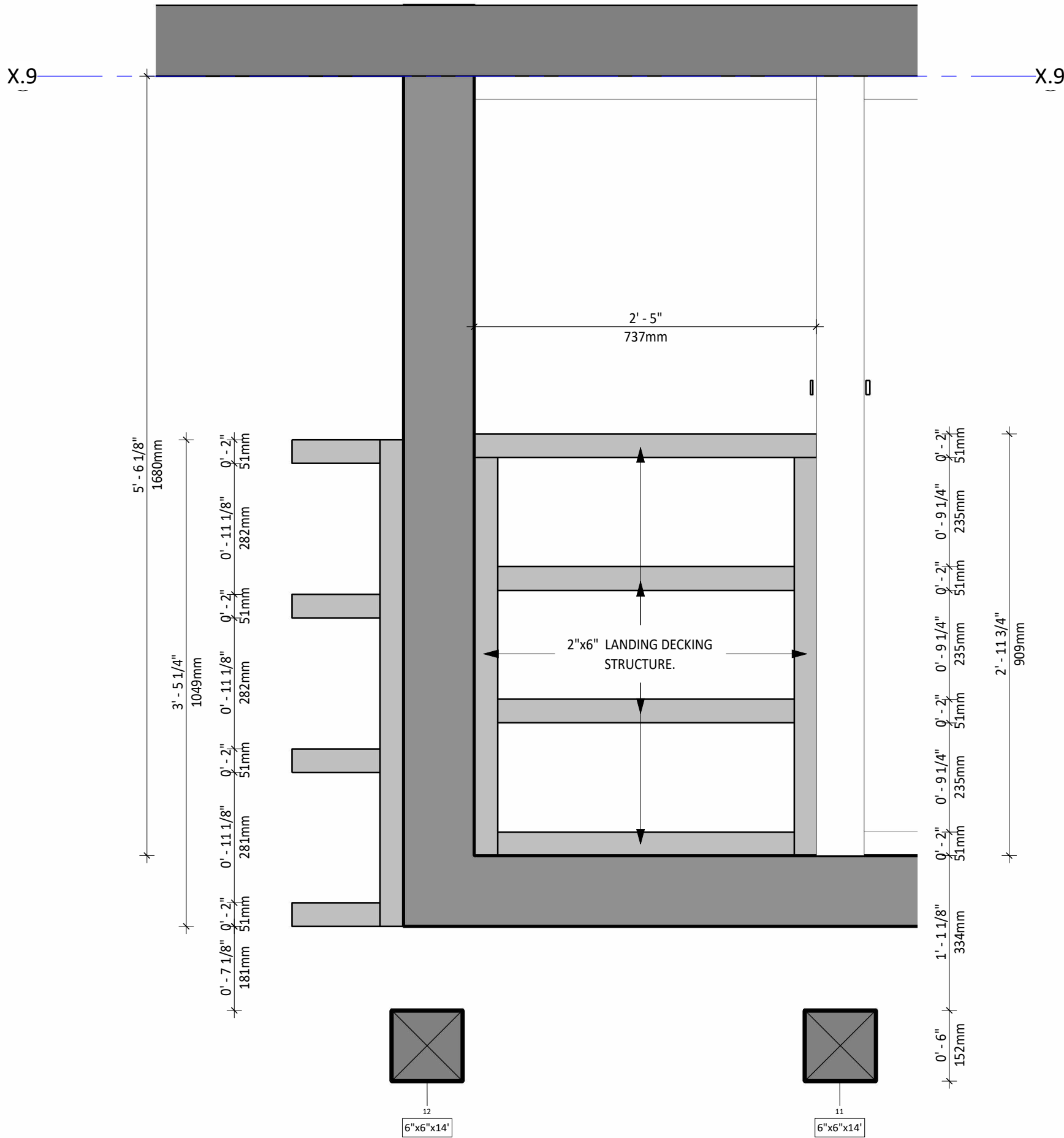
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DV

SHEET ISSUE DATE:
2025-04-01

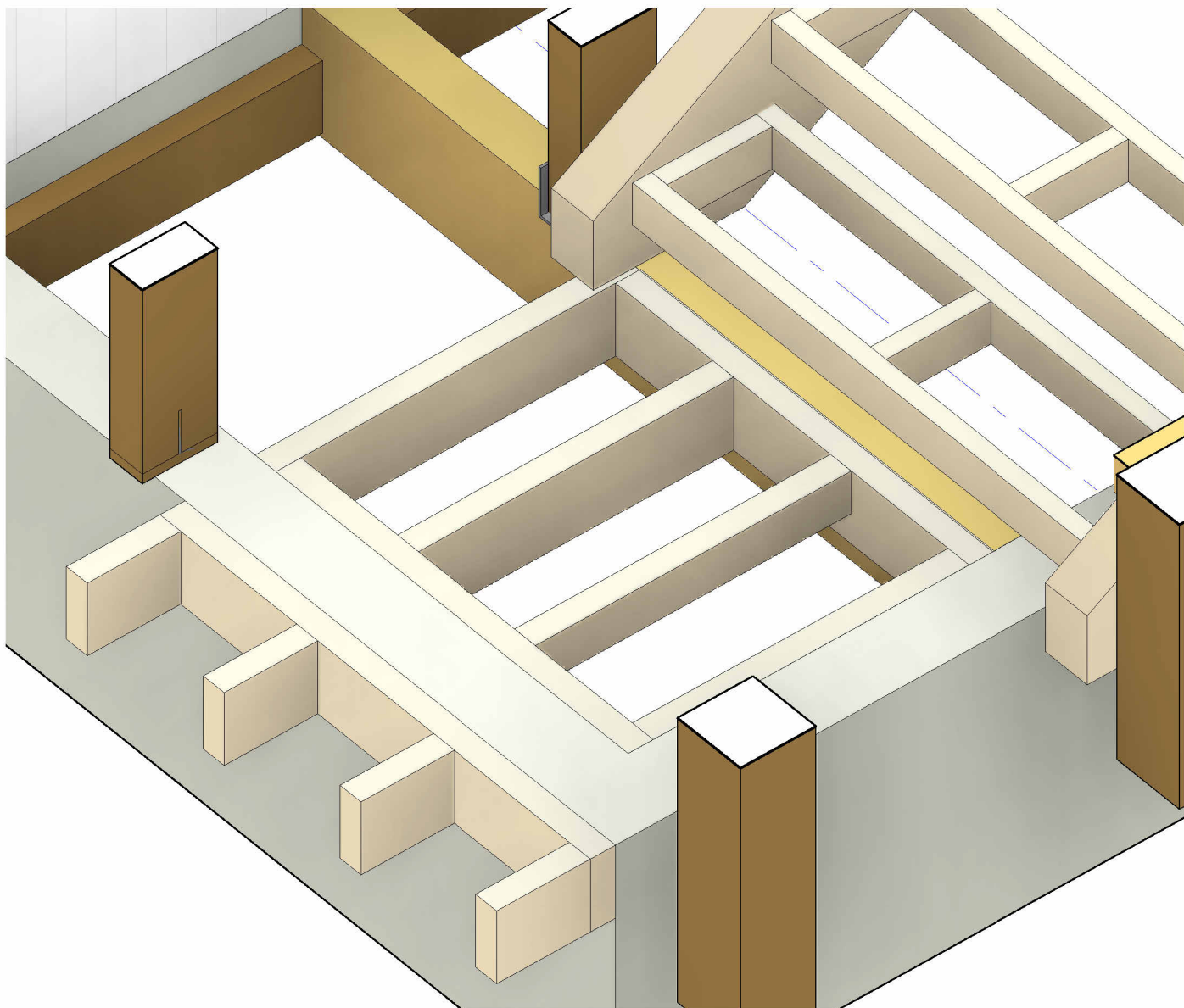
SCALE:
As indicated

SHEET NO.
BP A004

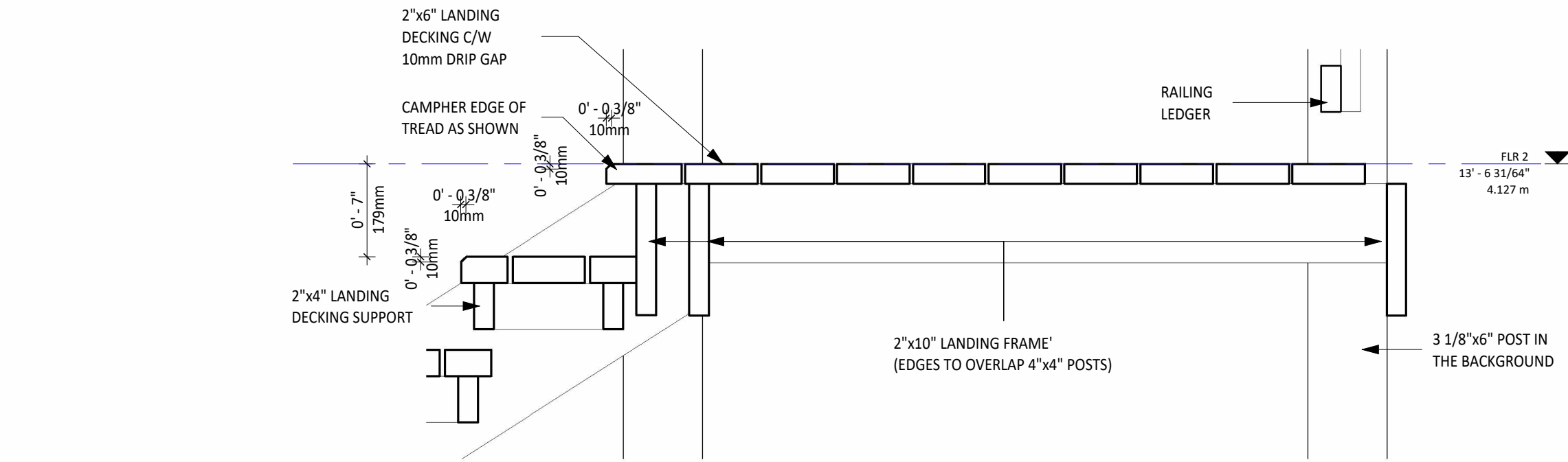
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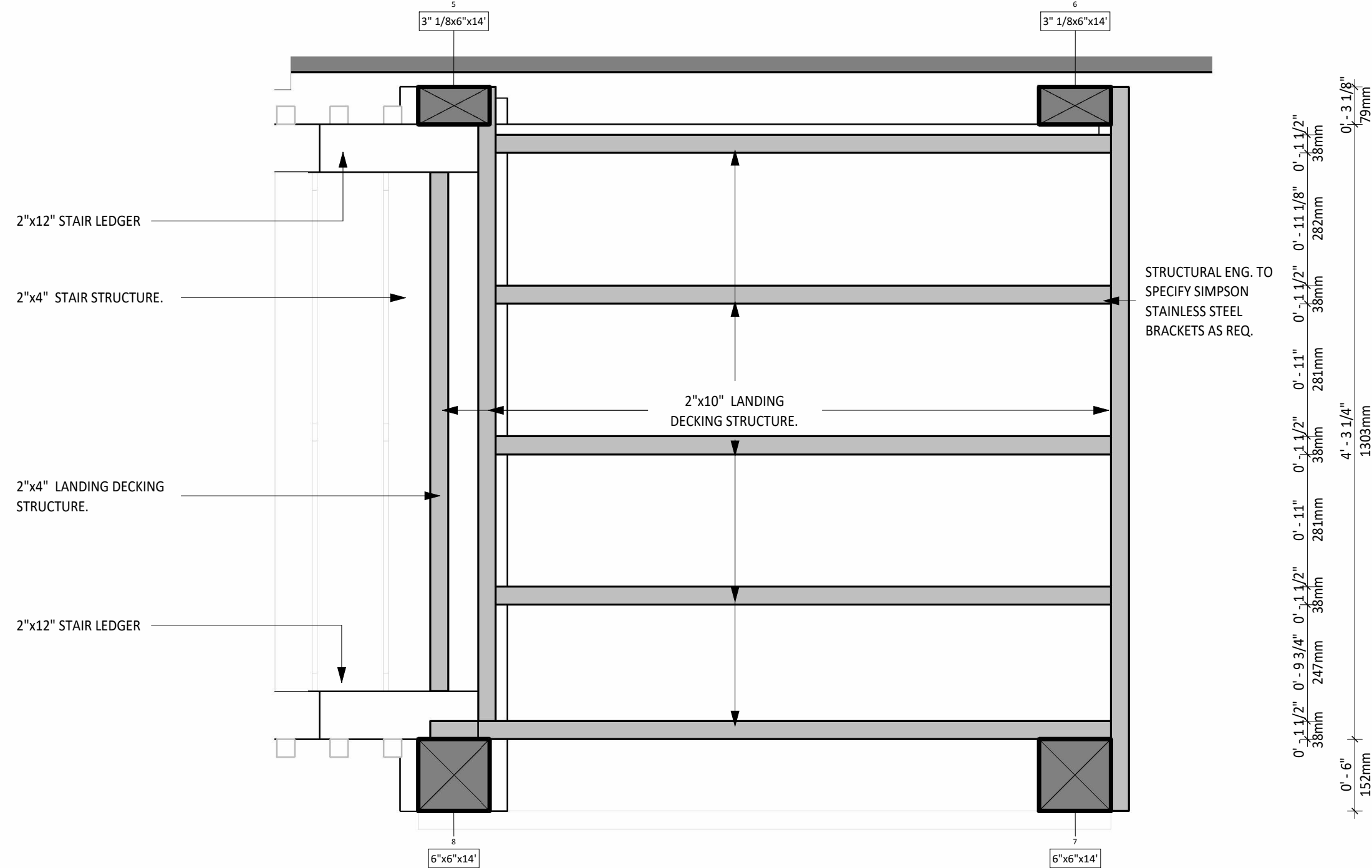
1 COMPONENT LANDING PLAN
1 : 10



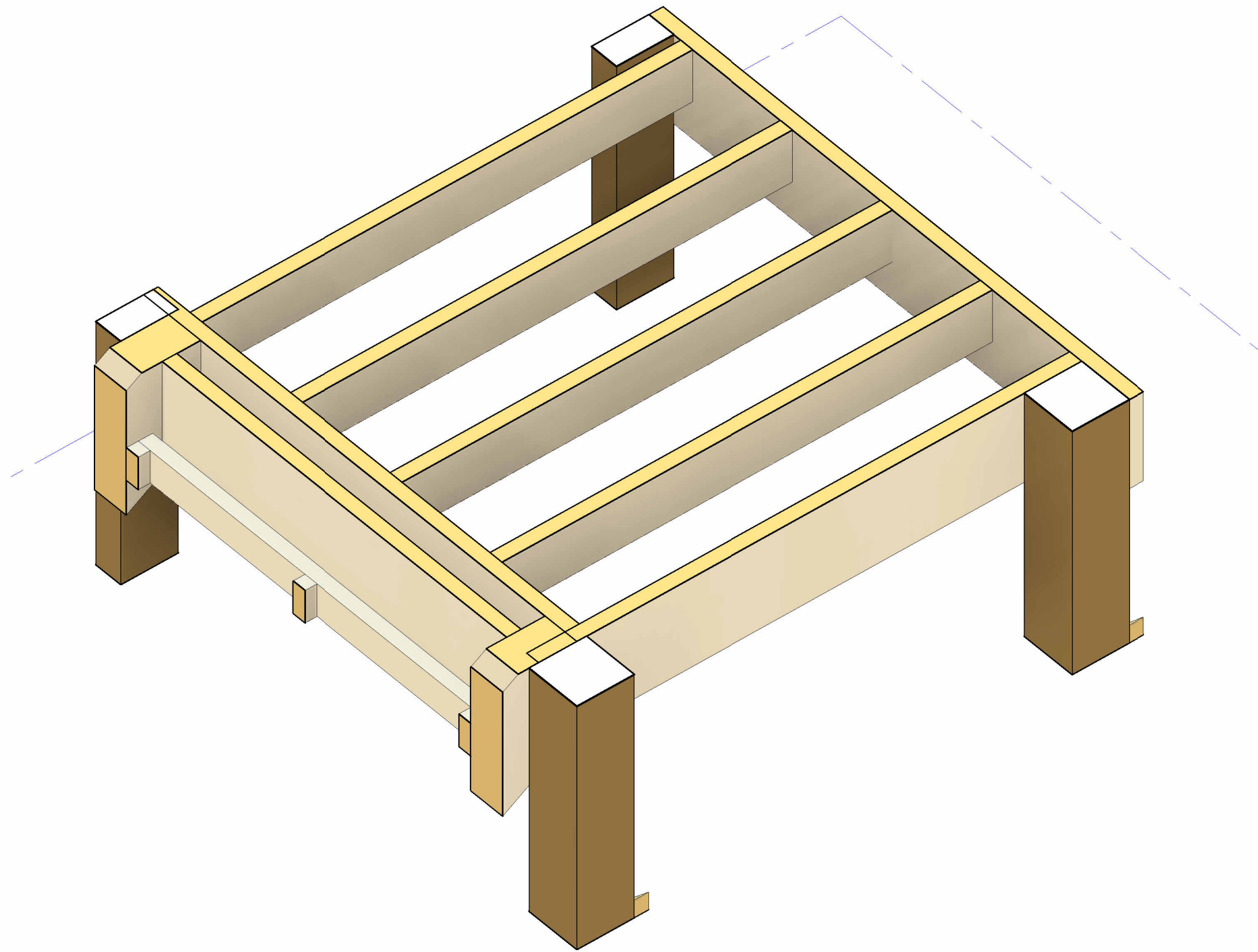
2 COMPONENT - LANDING 3D FRAMING
LOW



3 COMPONENT LANDING
1 : 10



4 COMPONENT LANDING PLAN HIGH
1 : 10



5 COMPONENT - LANDING 3D FRAMING

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PROJECT

2421

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PROJECT PHASE

Issue for Building Permit

CLIENT

RMOW, Municipal Hall 4325 Blackcomb Way, Whistler, B.C. V8E 0X5

SHEET

LANDINGS

DRAWN BY:

DV/SK

CHECKED BY:

DV

SHEET ISSUE DATE:

2025-04-01

SCALE:

1 : 10

SHEET NO.

BP A005

PLOT DATE / TIME: 2025-04-01 3:45:52 PM

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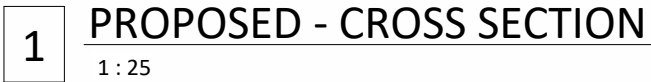
CLIENT
RMOW, Municipal Hall 4325 Blackcomb
Way, Whistler, B.C. V8E 0X5

ROOF & CONNECTIONS

DRAWN BY:	CHECKED BY:
DV/SK	DV
SHEET ISSUE DATE:	SCALE:
2025-04-01	As indicated

BP A006

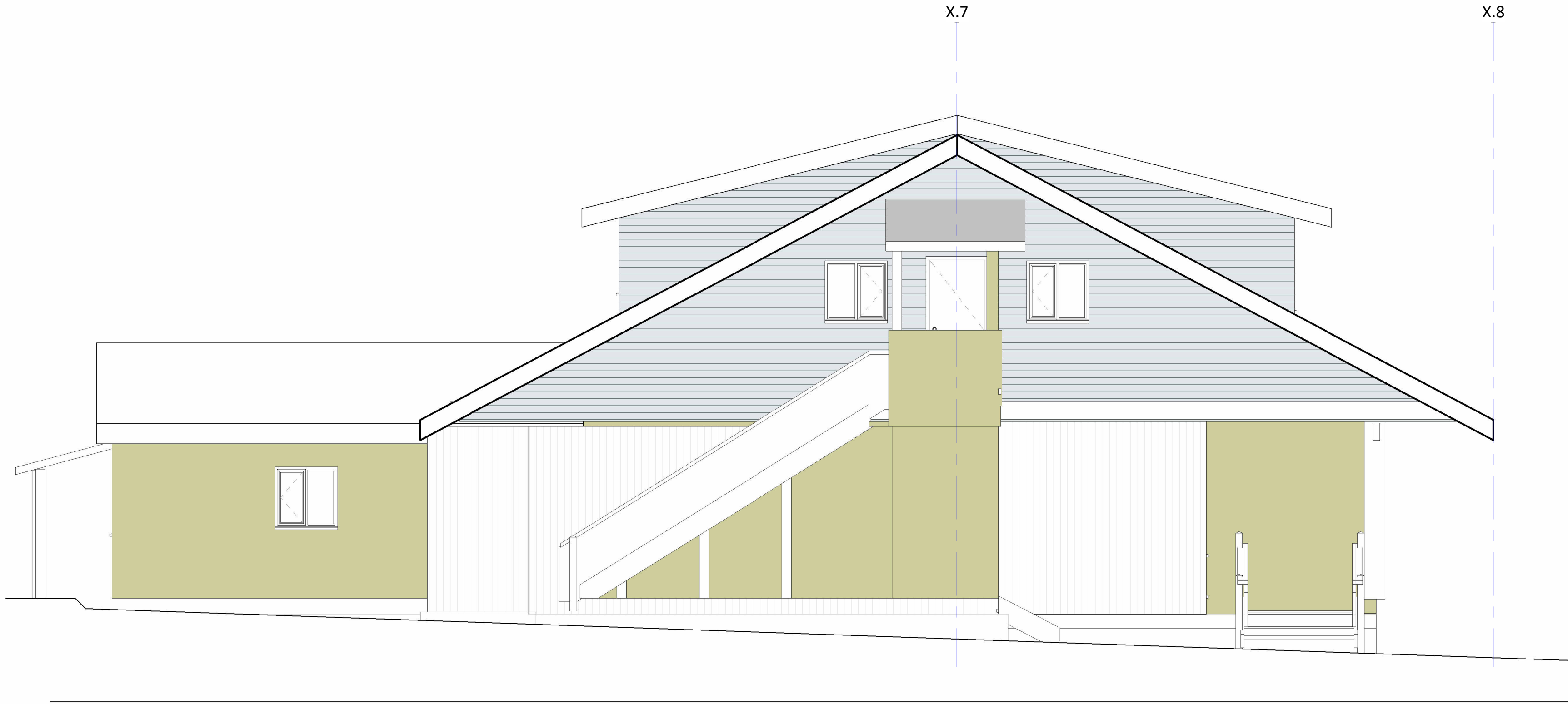
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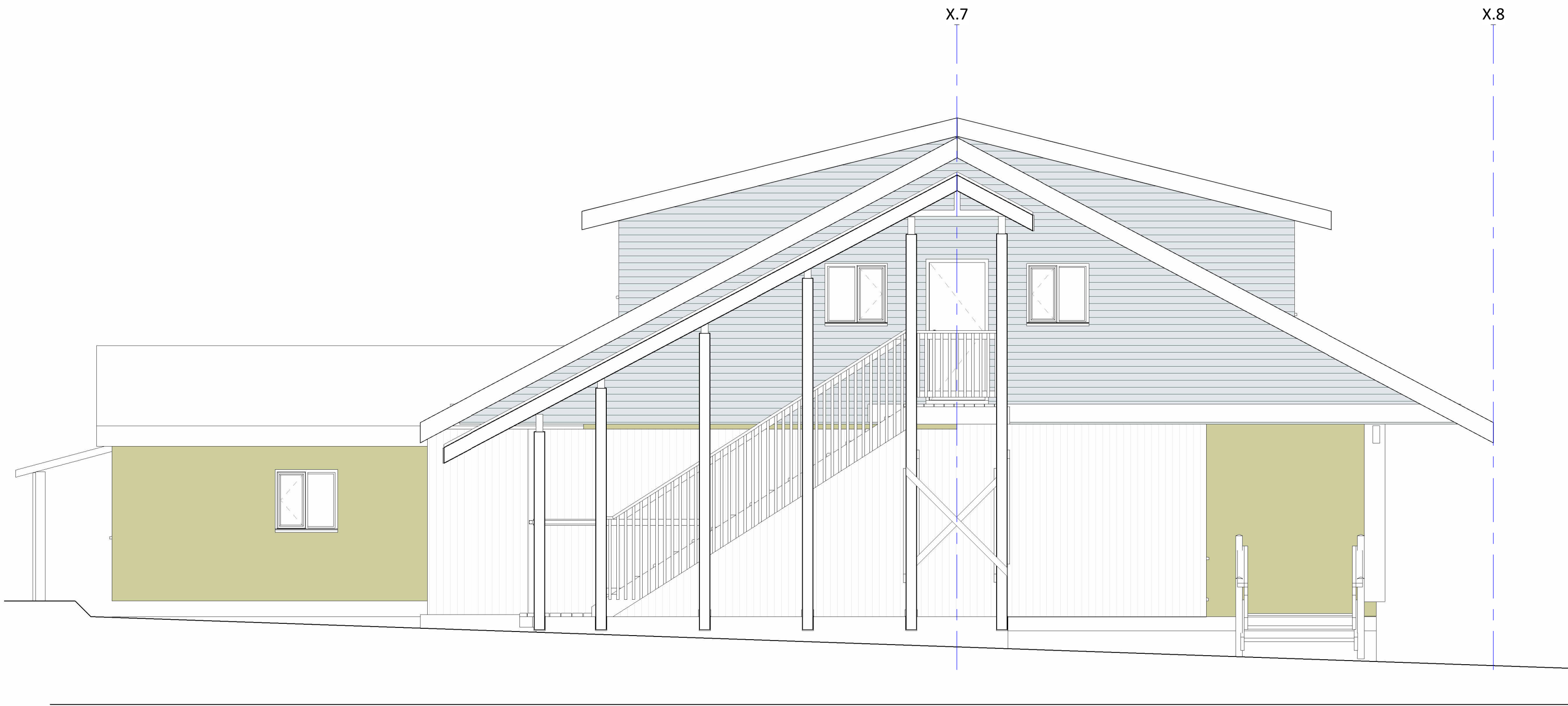
FOAM GASKET BETWEEN TIMBER AND CONCRETE CONSTRUCTION



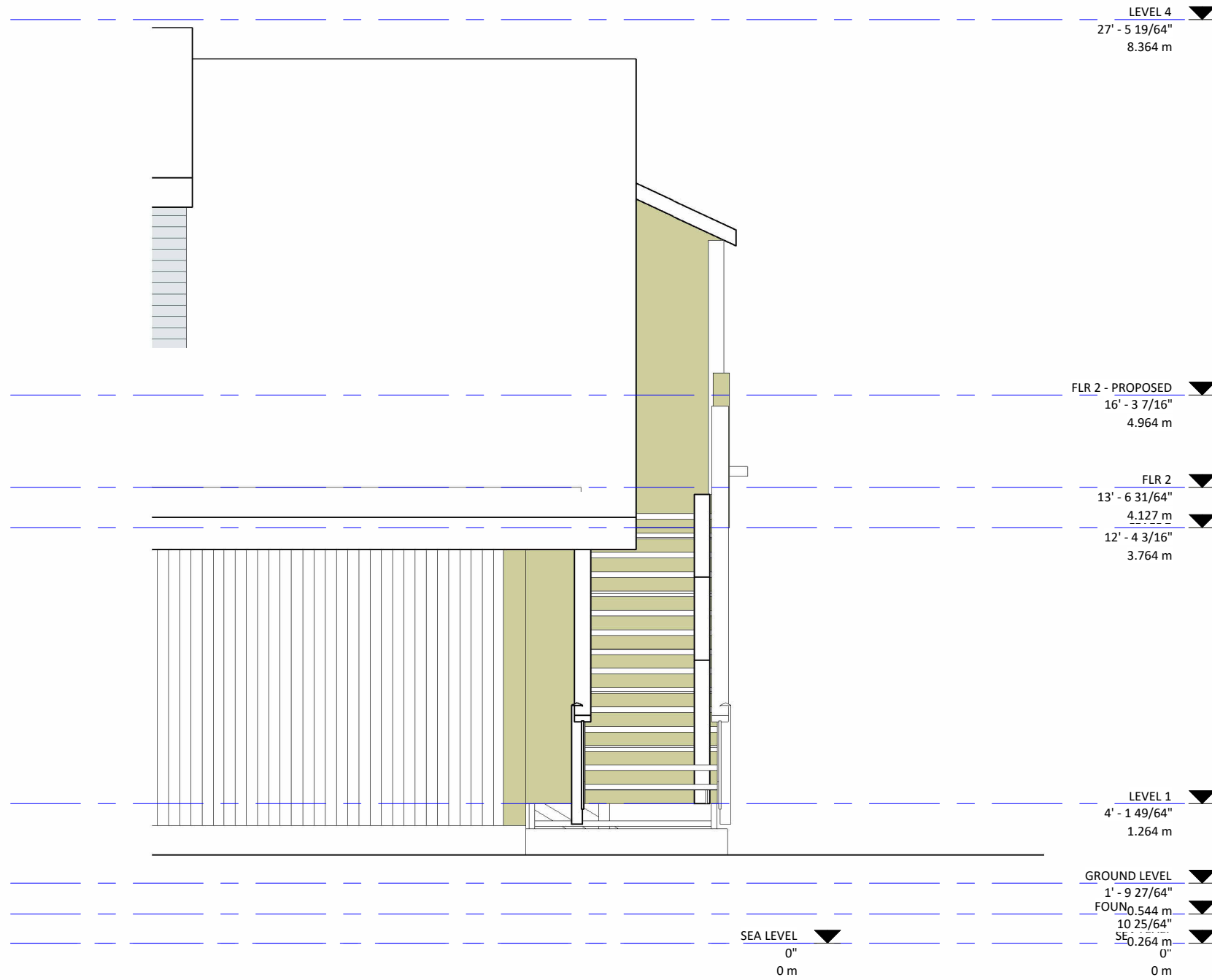
STRUCTURAL ENGINEER TO CONFIRM ALL FRAMING SIZES.
THE INTENT OF THIS DRAWING IS TO SHOW THE MAJOR FRAMING
MEMBERS FOR THIS PROJECT.



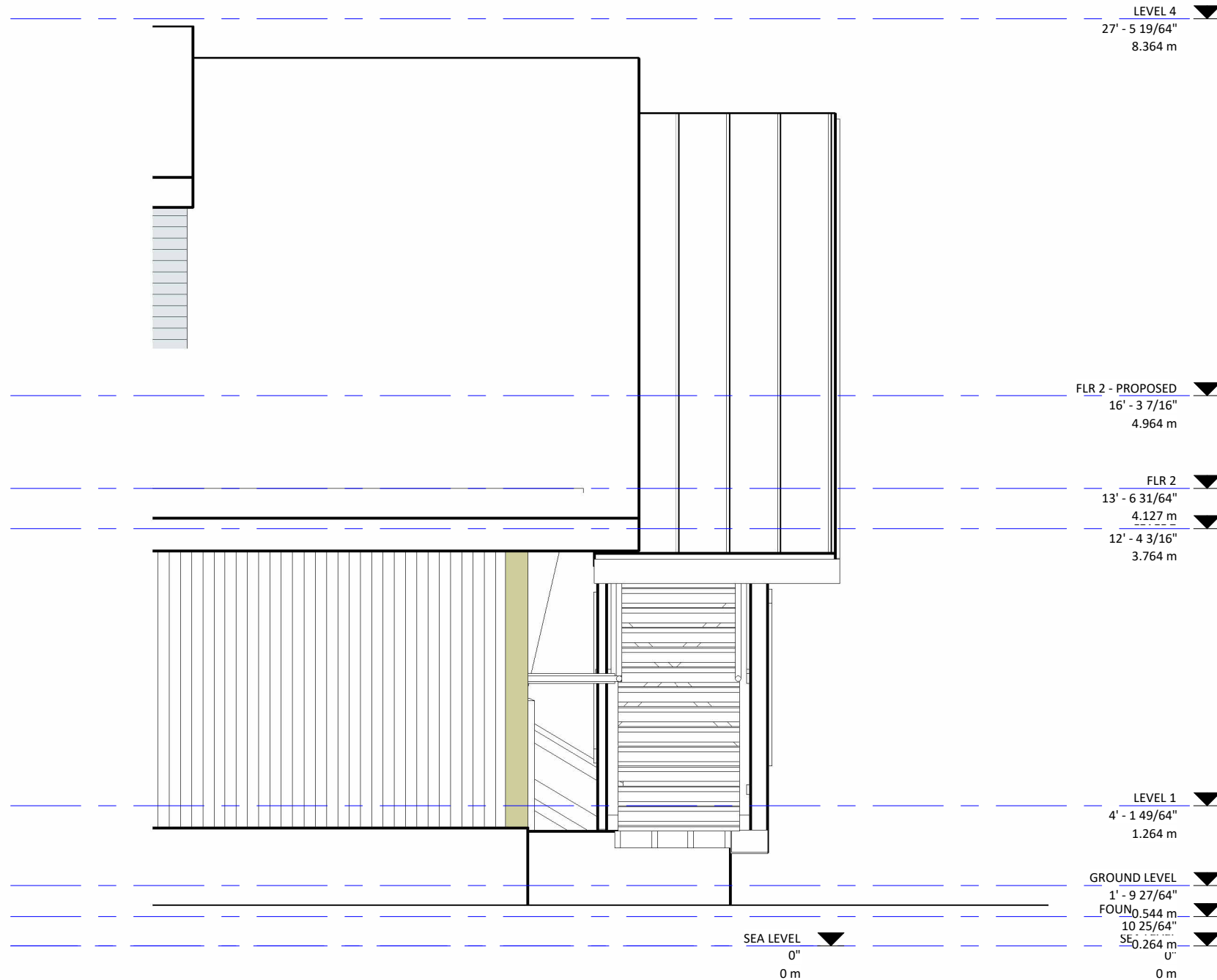
1 ELEVATION NORTH - EXISTING
1 : 50



2 ELEVATION NORTH - PROPOSED
1 : 50



3 ELEVATION WEST - EXISTING
1 : 50



4 ELEVATION WEST - PROPOSED
1 : 50

REVISIONS			
No.	Description	Date	Issued by
A	Structural sizes as per engineer	2025-03-26	
B	Structural fixings added	2025-04-01	



IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK. *NOTE: NO DETAILED, DIMENTIONED RECORD, DRAWINGS EXIST OF THIS BUILDING AS SUCH THE WORK SHOULD BE REVIEWED AFTER DEMOLITION AND CONSTRUCTION ADJUSTED TO ACCOMMODATE DIFFERENCES THAN WHAT WAS ASSUMED FOUND ON EXISTING DOCUMENTATION.*

DO NOT SCALE DRAWING
CONSTRUCTION SET TO HAVE ORIGINAL CONSULTANTS STAMP AND SIGNATURE
THE CONTENTS OF THIS DRAWING REMAIN THE COPYRIGHT PROPERTY OF DVAD INC.



DEREK VENTER ARCHITECTURAL DESIGN
10-1040 LEGACY WAY,
WHISTLER, BC, V8E 0J8
tel: 604.962.1177
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PROJECT
2421
Whistler Art Run Center
ADDRESS
5678 Alta Lake Road

PROJECT PHASE
Issue for Building Permit

CLIENT
RMOW, Municipal Hall 4325 Blackcomb Way, Whistler, B.C. V8E 0X5

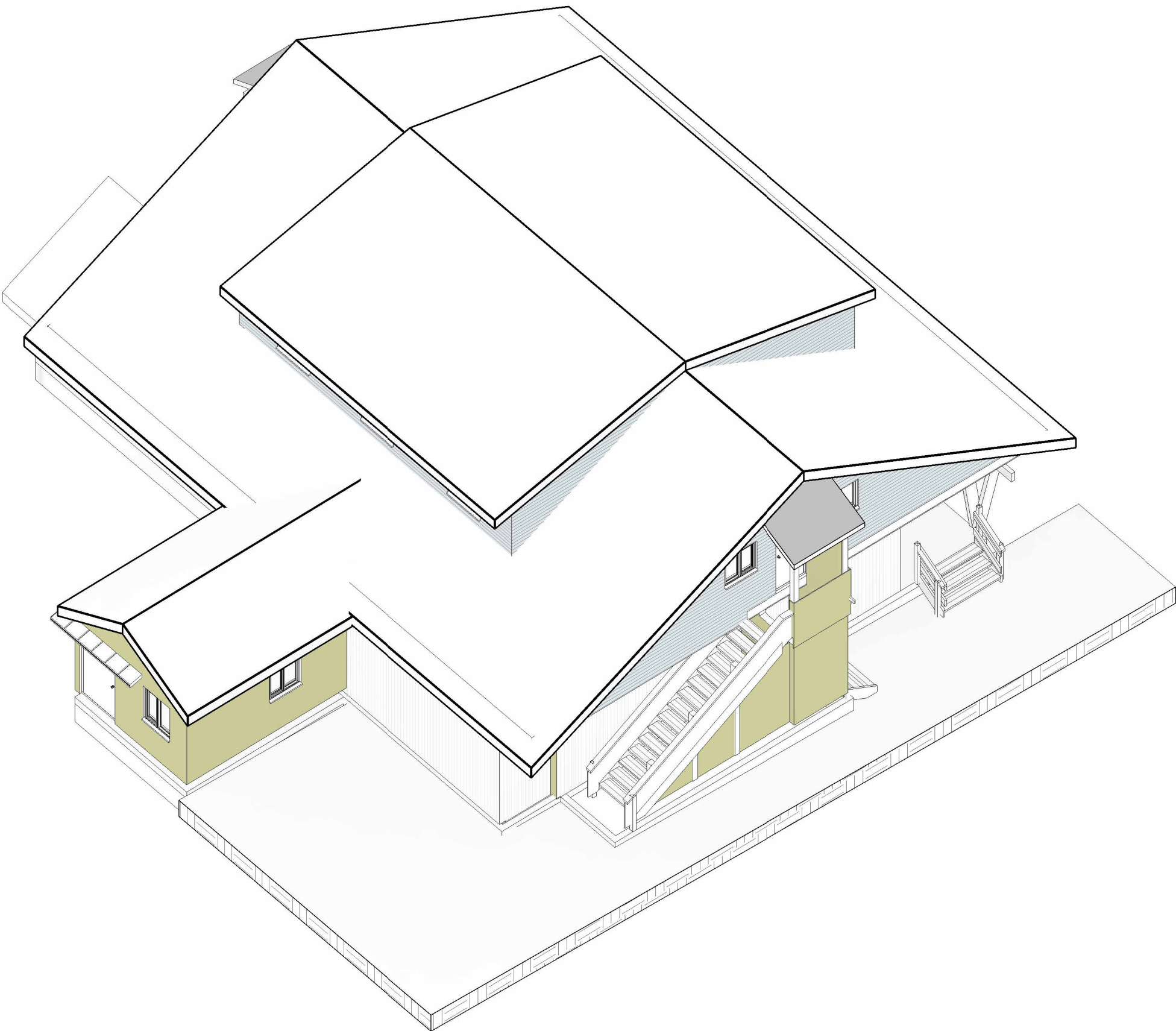
SHEET
ELEVATIONS

DRAWN BY:
DV/SK
CHECKED BY:
DV
SHEET ISSUE DATE:
2025-04-01
SCALE:
1 : 50

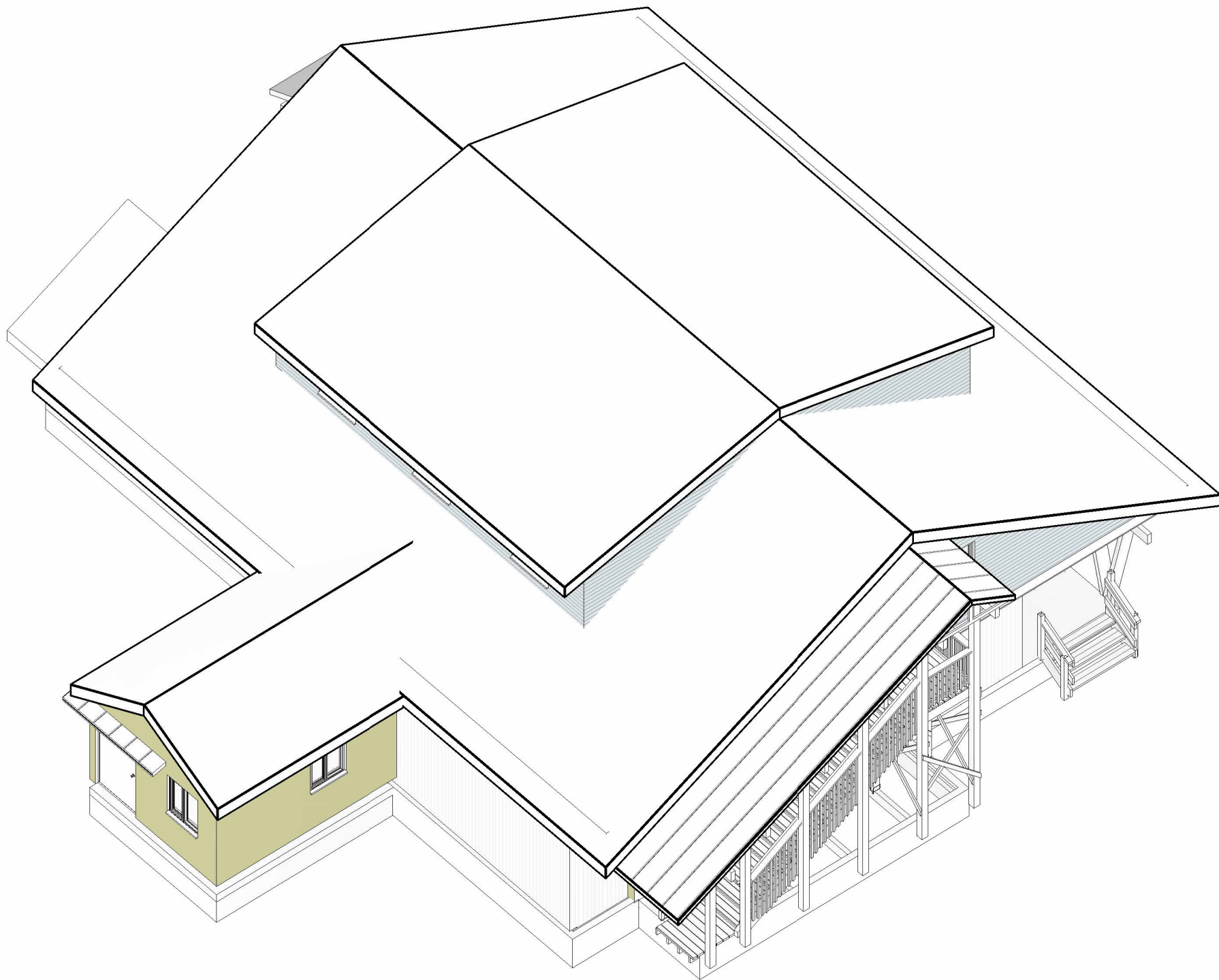
SHEET NO.
BP A007
PLOT DATE / TIME: 2025-04-01 3:46:01 PM

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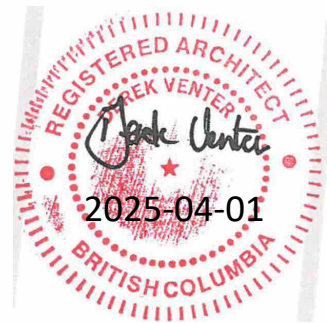
REVISIONS			
No.	Description	Date	Issued by
A	Structural sizes as per engineer	2025-03-26	
B	Structural fixings added	2025-04-01	



1 Existing



2 Proposed



IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK. *NOTE: NO DETAILED, DIMENTIONED RECORD. DRAWINGS EXIST OF THIS BUILDING AS SUCH THE WORK SHOULD BE REVIEWED. AFTER DEMOLITION AND CONSTRUCTION ADVISED TO ACCOMMODATE DIFFERENCES THAN WHAT WAS ASSUMED/FOUND ON EXISTING DOCUMENTATION.*

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PROJECT

2421

Whistler Art Run Center

ADDRESS

5678 Alta Lake Road

PROJECT PHASE

Issue for Building Permit

CLIENT

RMOW, Municipal Hall 4325 Blackcomb Way, Whistler, B.C. V8E 0X5

SHEET

PERSPECTIVES

DRAWN BY: DV/SK CHECKED BY: DV

SHEET ISSUE DATE: 2025-04-01 SCALE:

SHEET NO.

BP A008

PLOT DATE / TIME: 2025-04-01 3:46:08 PM

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