#### **ZONING / BYLAW DATA**

STREET ADDRESS:

PARCEL IDENTIFIER (PID): LEGAL ADDRESS: PLAN VAP 14195 LOT B DISTRICT LOT 2246 NEW WESTMINSTER DISTRICT GROUP 1.

AUTHORITY HAVING JURISDICTION (AHJ): RESORT MUNICIPALITY OF WHISTLER

UNCHANGED EXISTING PARKING: PARKING PROPOSED: UNCHANGED UNCHANGED REQUIRED SETBACKS: PROPOSED SETBACKS: UNCHANGED N/A

SITE AREA: EXISTING SITE COVERAGE:

PROPOSED SITE COVERAGE: EXISTING BUILDING GFA: AS EXISTING PROPOSED BUILDING GFA: AS EXISTING

#### **BUILDING CODE DATA**

BC BUILDING CODE: REGULATED BY: PART 3 (Post Disaster Building)

OCCUPANCY:

1. MAJOR OCCUPANCY:

2. TOTAL BUILDING AREA: m<sup>2</sup>, AS EXISTING STOREYS: 2, AS EXISTING 4. NO. OF STREETS FACING: ONE STREET

5. SPRINKLER: NOT CONFIRMED, AS EXISTING 6. CONSTRUCTION: COMBUSTIBLE & NON-COMBUSTIBLE

GRADE: SUITE OCCUPANT LOAD:

**EXISTING WASHROOMS:** NOT CONFIRMED, AS EXISTING PROPOSED WASHROOMS: NOT CONFIRMED, AS EXISTING

#### **CONSTRUCTION NOTES:**

CONTRACTOR MUST REVIEW THE FOLLOWING W/ THE ARCHITECT BEFORE DRAWINGS WILL BE ISSUED FOR CONSTRUCTION:

NOT CONFIRMED, AS EXISTING

- CONSTRUCTION SEQUENCING (DETAILS). - ALL MATERIALS SPEC. (INSULATIONS, MEMBRANES, TAPES, CAULKS, ETC.).

#### INSPECTIONS SCHEDULE:

• ARCHITECT MUST BE NOTIFIED FOR ALL INSPECTIONS INCLUDING:

AHJ, PROFESSIONAL CONSULTANTS ETC AND PROVIDED WITH FIELD REVIEW REPORTS.

• CONTRACTOR IS TO PROVIDE THE ARCHITECT WITH MIN. 48 HOUR NOTICE FOR INSPECTIONS (IF REQUIRED).

1. SITE PREP / DEMOLITION COMPLETE. 2. FOUNDATION COMPLETE / MAKE GOOD EXISTING SIDING AS REQUIRED. ALL WORK TO MATCH EXISTING.

3. FRAMING COMPLETE (PROVIDE A GAS/ELECTRICAL NOTIFICATION OF INSTALLATION FORM AT FRAMING INSPECTION.) 4. ELECTRICAL ROUGH IN COMPLETE.

5. FIRE STOPPING/FIRE BLOCKING.

6. INSULATION COMPLETE WITH POLY/ VAPOR BARRIER. 7. DRYWALL, ACOUSTIC CEILINGS/WALLS COMPLETE.

8. FIXTURES, FINISHES COMPLETE. 9. FINAL INSPECTION.

#### DOCUMENTATION REQUIRED TO BE SUBMITTED TO ARCHITECT:

• CLIENT/ CONTRACTOR TO ENSURE THE FOLLOWING ARE MADE AVAILABLE TO THE ARCHITECT;

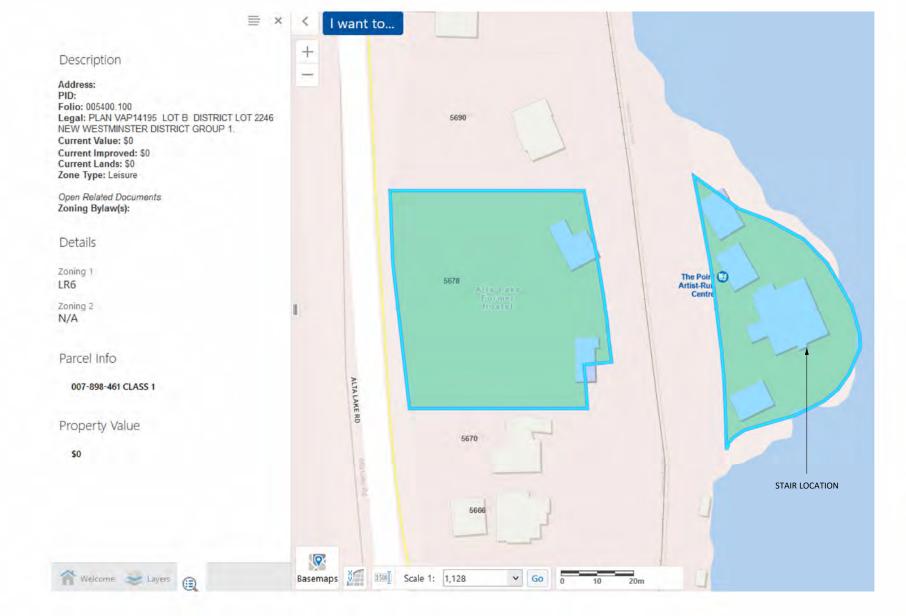
1. AHJ INSPECTION CARDS. 2. ELECTRICAL PERMIT + PROOF OF PERMIT CLOSURE.

3. ALL CONSULTANT FIELD REVIEWS.

THE GC SHOULD COLLECT THE ABOVE AND PROVIDE IT TO THE ARCHITECT ONLY WHEN ALL THE DOCUMENTS HAVE BEEN



Current Current Revision Number Sheet Name Revision Description Current Revision Date By By Sheet Issue Date BP A001 COVER+SITE PLAN DV DV 2024-12-28 BP A002 DEMOLITION AND CLEARANCE REQ DV 2024-12-28 BP A003 PLANS 2024-12-28 BP A004 SECTIONS 2024-12-28 BP A005 LANDINGS 2024-12-28 BP A006 ROOF & CONNECTIONS 2024-12-28 BP A007 ELEVATIONS DV 2024-12-28 BP A008 PERSPECTIVES 2024-12-28 DV DV



#### **PROJECT DIRECTORY:**

ARCHITECTURAL Derek VENTER, Architect AIBC DVAD inc. Derek Venter Architectural Design. P: +1.604.962.1177 Email: dva@dvad.org P.O.BOX 794, Whistler, BC, CANADA, VON 1B0

STRUCTURAL ENGINEER Sebastian Guerrero, P.Eng, M.Eng Chalten Engineering

P: +1.604.902.1404 \_Email: chaltenengineering@shaw.ca P.O.Box 1527, Whistler, B.C., VON 1B0 **SURVEYOR** 

**GEOTECHNICAL** Evan Sykes

EXP Engineering P: +1.604.815.7197 evan.sykes@exp.com 275-3001 Wayburne Drive Burnaby BC V5G 4W3

THE FOLLOWING SHOP DRAWINGS SHOULD BE PROVIDED TO THE **ARCHTIECT BEFORE MATERIAL IS ORDERED;** 

1. WIRED GLASS C/W DETAILS ON FRAME IF FRAME REQUIRES REPLACEMENT.

2. LED LIGHTING COMPLETE WITH LUX SPECIFICATIONS AND

3. NEW LIGHTS TO BE CONNECTED TO BATTERY PACKS FOR ENSURED **FUNCTION DURING POWER FAILURE.** 



CLOSEST DISTANCE TO PROPERTY LINE: 3M.

T 3.2.3.1.-B UNSPRINKLERED BUILDINGS -

T 3.2.3.7. MIN. CONST. REQ. OF EXPOSED BUILDING FACE.

F3 OCCUPANCY. UPO ALLOWED >10% TO 25%.

FRR = 1H, COMBUSTABLE OR NON COMBUSTABLE CONSTRUCTION, CLADDING NON COMBUSTABLE ALLOWED.

CONCLUSION: ALL NEW WORK ON THE ENVELOPE CAN BE COMPLETED TO MATCH EXISTING IN MATERIAL AND METHOD.

SUGGEST THAT ALL STRUCTURAL TIMBER MEMBERS WOOD SPECIES BE SPECIFIED BY THE STRUCTURAL ENGINEER AND IT BE PRESERVATIVE TREATED. SUGGEST THAT STAIR TREAD STRUCTURE, TREADS, RISERS, GUARDRAILS AND SPINDLES BE EITHER TREATED WOOD OR CEDAR. SPECIAL CARE MUST BE TAKEN TO SEAL ALL WOOD PRIOR TO PUTTING ON FINISH COATS OF PAINT (TO PREVENT BLEED THROUGH) - IF THE WOOD COMPONENTS ARE TO BE PAINTED.

FASTENERS MUST BE CAREFULLY CHOSEN TO RESIST CORROSION ESPECIALLY WHEN IN CONTACT WITH PRESERVATIVE TREATED WOOD. SUGGEST HEAVY HOT DIP GALVANIZED FASTENERS OR STAINLESS STEEL FASTENERS. SUGGEST STRUCTURAL BRACKETS AND BOLTS BE HEAVY HOT DIPPED GALVANIZED STEEL. FLASHINGS TO BE METAL PAINTED, GLAVINIZED OR ZINK.

EXTERIOR LIGHTING IS INDICATIVE ONLY AND SHOULD BE REVIEWED WITH ELECTRICIAN AND CLIENT AS REQUIRED.

#### **INTENDED USE:**

IF THESE STAIRS ARE COMMONLY USED FOR ACCESS PURPOSES THEN A TACTILE WARNING STRIP SHOULD BE PLACED AT THE TOP LANDING AS PER

AT PRESENT, IT IS ASSUMED THESE STAIRS ARE NOT COMMONLY USED FOR ACCESS.





3 EBF - 72sq.m

EBF AREA: 147 SQ.M.

F3 OCCUPANCY. RATIO 3:1 TO 10:1. AREA @ 147SQ.M + LD @ 5.5M. ALLOWS FOR UPO OF 23%.

IF THESE STAIRS ARE ONLY AND NOT COMMONLY USED FOR ACCESS PURPOSES THEN NO TACTILE WARNING STRIP IS REQURIED. BCBC.



**NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR** PRIOR TO CONSTRUCTION AND ORDER **OF MATERIALS** 

**REVISIONS** 

Date Issued by

Description

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DEREK VENTER ARCHITECTURAL DESIGN

10-1040 LEGACY WAY, WHISTLER, BC, V8E 0J8 info@dvad.org www.dvad.ca

PROJECT

CLEANING+REPAIRING GOODS: 4.6 sqm/PERSON.

2421 Whistler Art Run Center

PROJECT PHASE COORDINATION

CLIENT

# **COVER+SITE PLAN**

DRAWN BY: CHECKED BY:

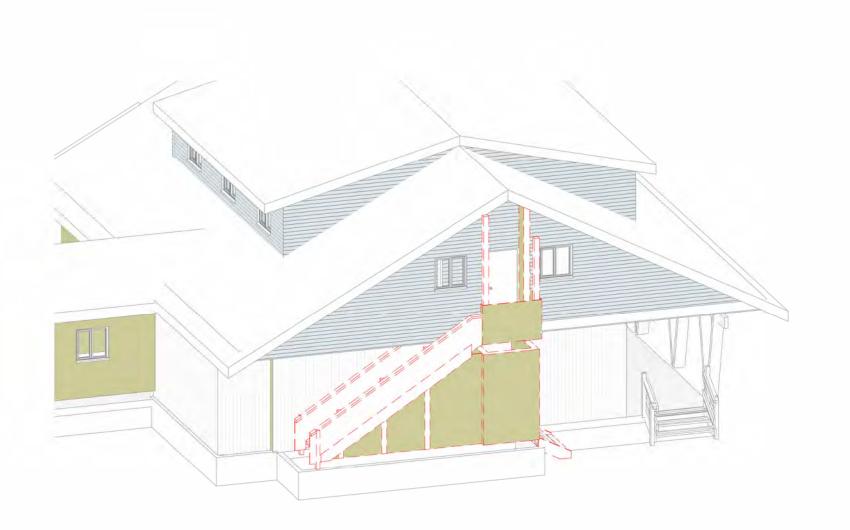
SHEET ISSUE DATE: 2024-12-28

SHEET NO.

BP A001

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As indicated



3D View DEMOLITION

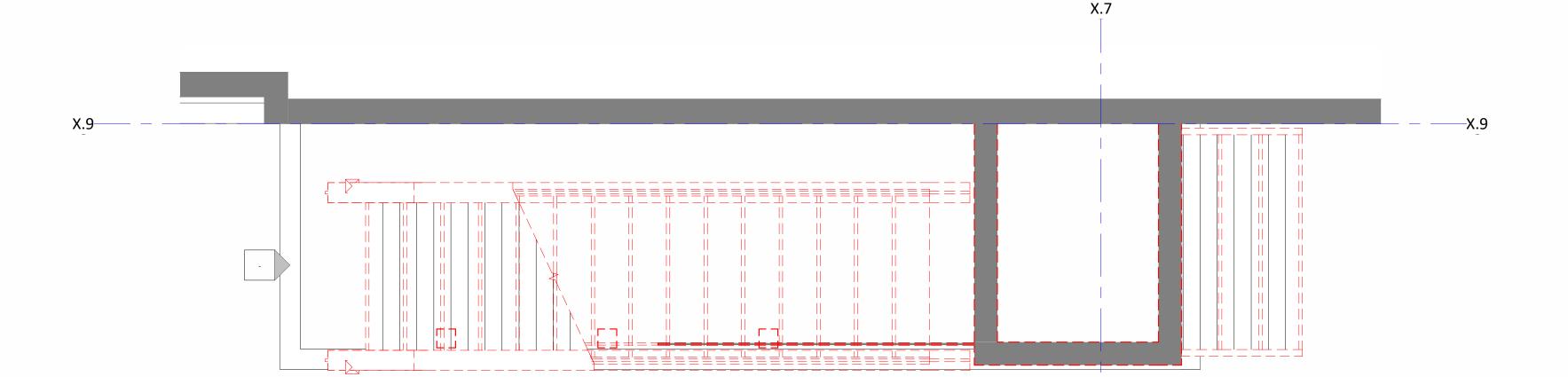
#### DEMOLITION AND RESTORATION:

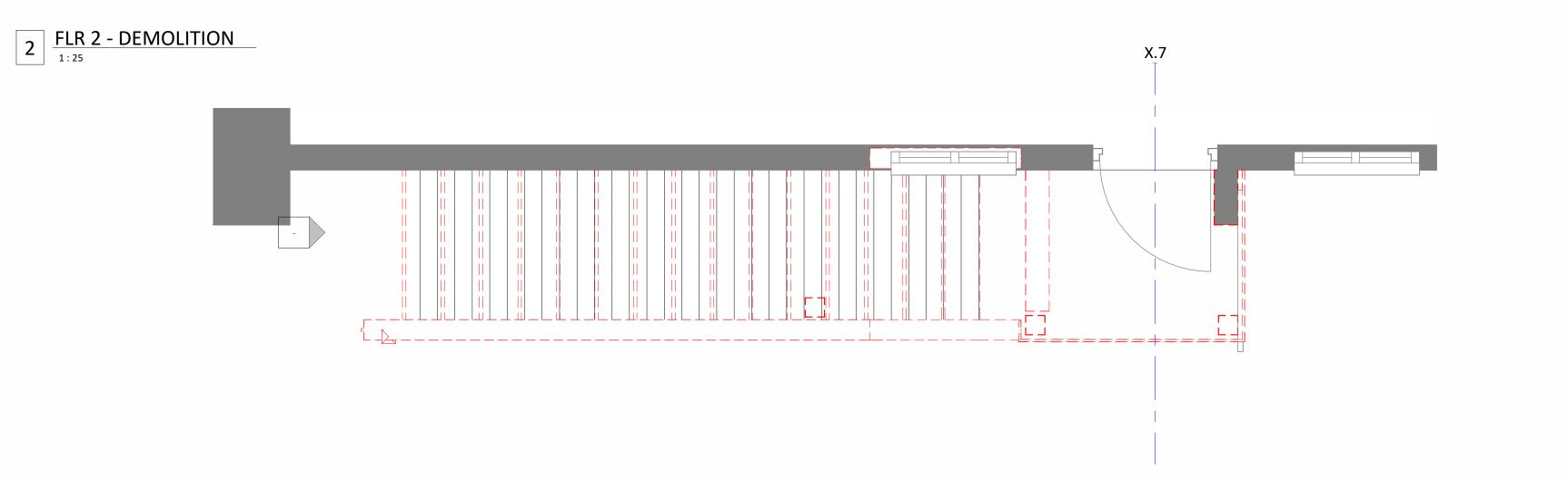
- 1. DEMOLISH EXISTING STAIR, COMPLETE WITH FOUNDATIONS AND HANDRAILS, CROSS BRACING.
- 2. MAKE GOOD EXISTING SIDING WHERE DAMAGED AS REQUIRED. ALL REPAIRS TO MATCH EXISTING IN MATERIAL AND FINISH SPECIFICATIONS TO MATCH LOOK.
- 3. GC TO PAY CAREFULL ATTENTION TO PROTECT EXISTING BUILDING WITH SPECIFIC CARE FOR ELECTRICAL AND OTHER PROTRUSIONS FROM THE BUILDING LOCATED UNDER THE EXISTING STAIR.

#### PROPOSED EXIT STAIR:

3 FLR 1 - CLEARANCE REQUIREMENTS
1:25

- 1. ELECTRICAL METER CLEARANCE REQUIREMENTS MIN. 1m FROM FRONT OF EQUIPMENT.
- 2. WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2
- 3. DOOR ON FIRST FLOOR AND WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2.





#### RESTORATION OF THE EXISTING BUILDING ENVELOPE:

THE GC SHOULD REVIEW THE EXISTING BUILDING ENVELOPE WHERE AFFECTED BY THE DEMOLITION OF THE EXISTING STAIR AND TOP LANDING. THE ENVELOPE SHOULD BE RESTORED IN A LIKE MANNER AS TO THE CONSTRUCTION OF THE EXISTING. SHOULD THIS PRODUCE ANY PROBLEMATIC OR NON-COMPLIANCE TO THE BUILDING CODE AT THE TIME OF CONSTRUCTION THE EXPOSED ENVELOPE SHOULD BE REVIEWED BY THE ARCHITECT AND A SUITABLE SOLUTION CAN BE PROVIDED.

REVISIONS

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NOTE: ALL DIMENSIONS TO BE
VERIFIED ON SITE BY CONTRACTOR
PRIOR TO CONSTRUCTION AND ORDER
OF MATERIALS

CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK

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PROJECT

2421 Whistler Art Run

Center

PROJECT PHASE

COORDINATION

CLIENT

CHEE

DEMOLITION AND CLEARANCE REQ

DRAWN BY: CHECKED BY:

DV

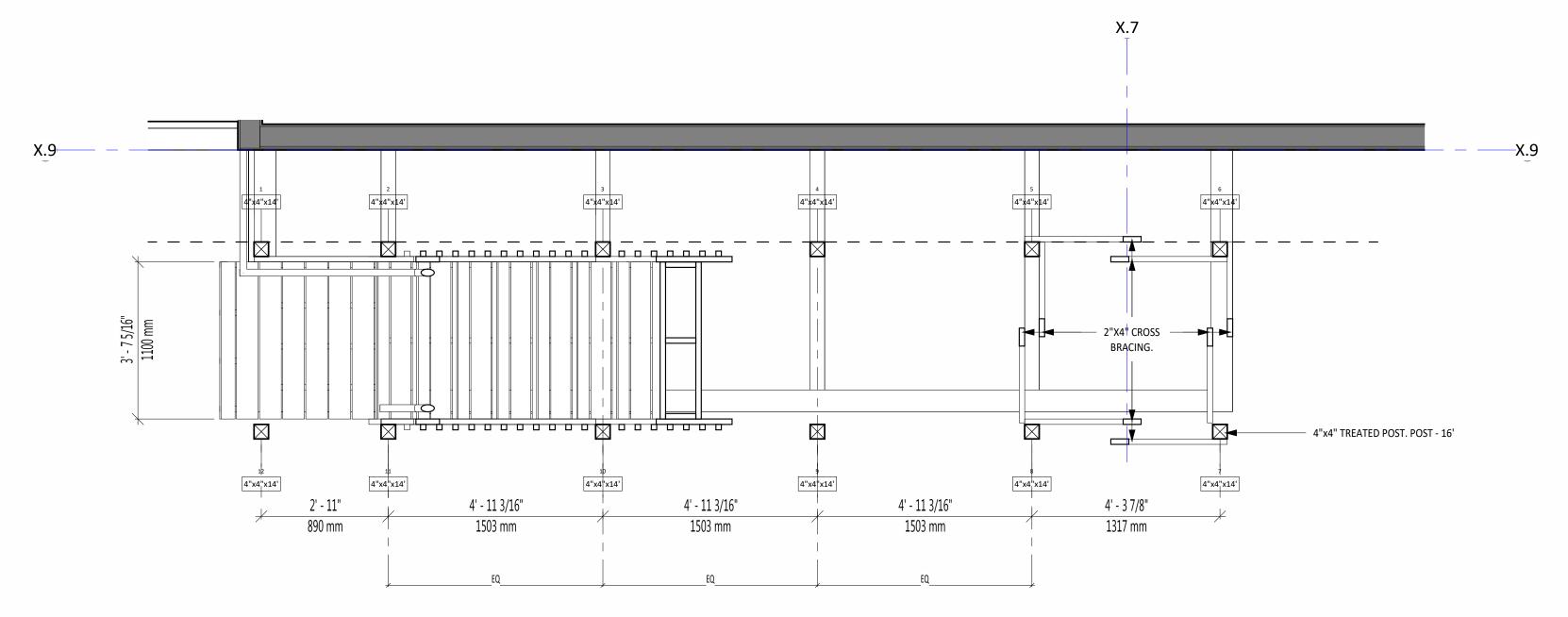
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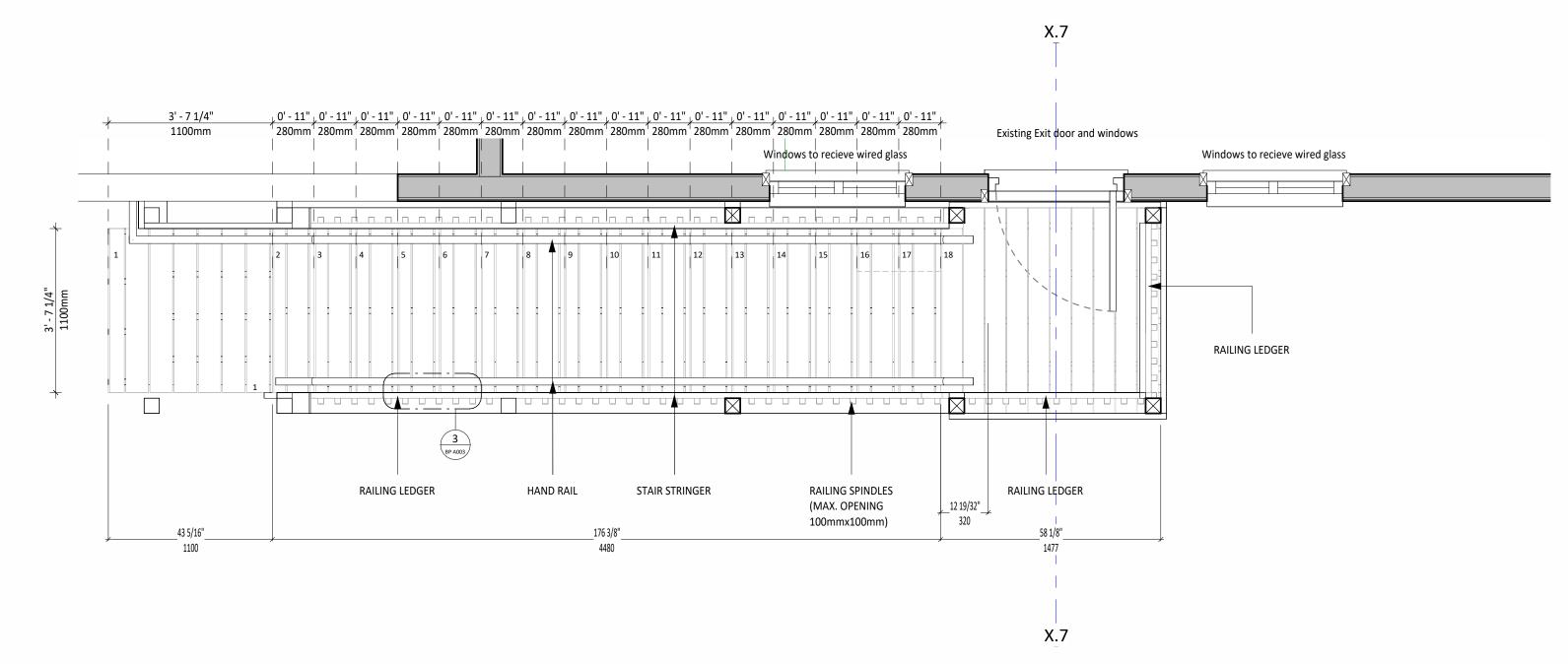
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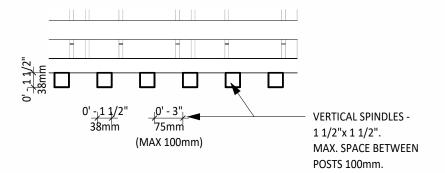


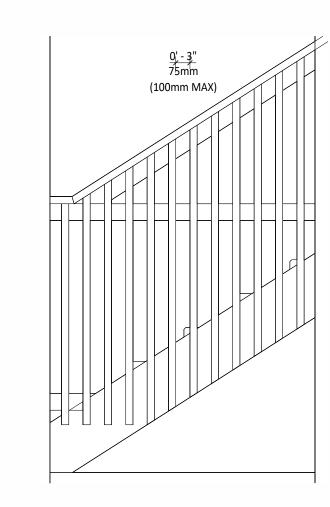
1 FLR 1 - PROPOSED
1:25

MIN. STAIR WIDTH: 8mm / PERSON BUT NOT LESS THAN 900mm. OCCUPANCY LOAD: T 3.1.17.1 TOTAL OCCUPANY LOAD: 208 PEOPLE @ 8mm/PERSON = 1664mm. EXISTING STAIR 1000mm WIDE. MIN. STAIR WIDTH: 1100mm. CUMULATIVE STAIRS 2100mm STAIR WIDTH PROPOSED: 1100mm (2 HANDRAILS REQ.) GC CAN ADJUST WIDTH OF STAIR TO BE MAX. 1099mm TO ALLOW FOR MAX. 1 HANDRAIL.

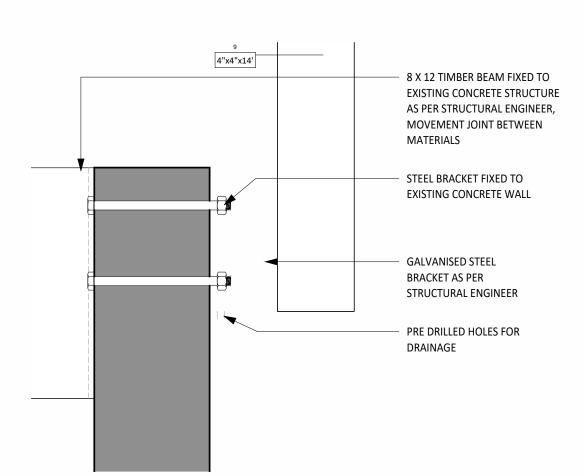


2 FLR 2 - PROPOSED
1:25

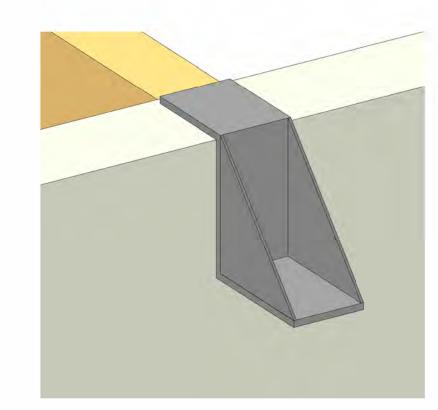




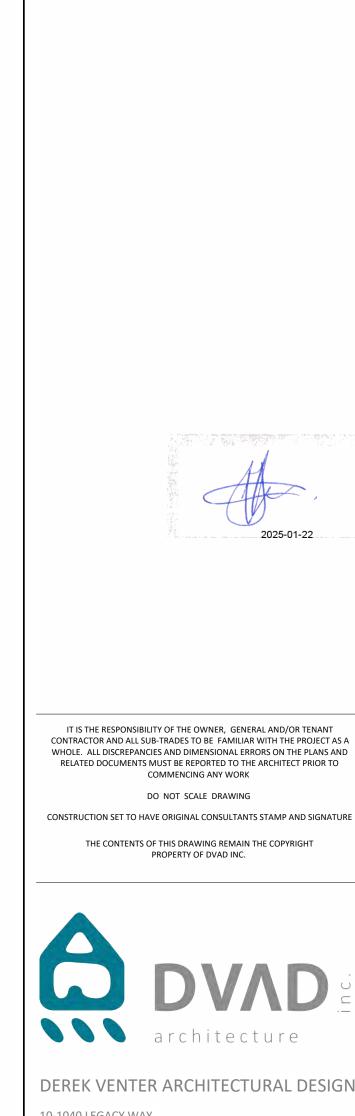
 $4 \overline{) \frac{FLR 1 - SPINDLE SPACING}{1:20}}$ 



5 COMPONENT BRACKET



6 3D View 5



**REVISIONS** 

Description

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2421 Whistler Art Run Center

PROJECT PHASE COORDINATION

CLIENT

**PLANS** 

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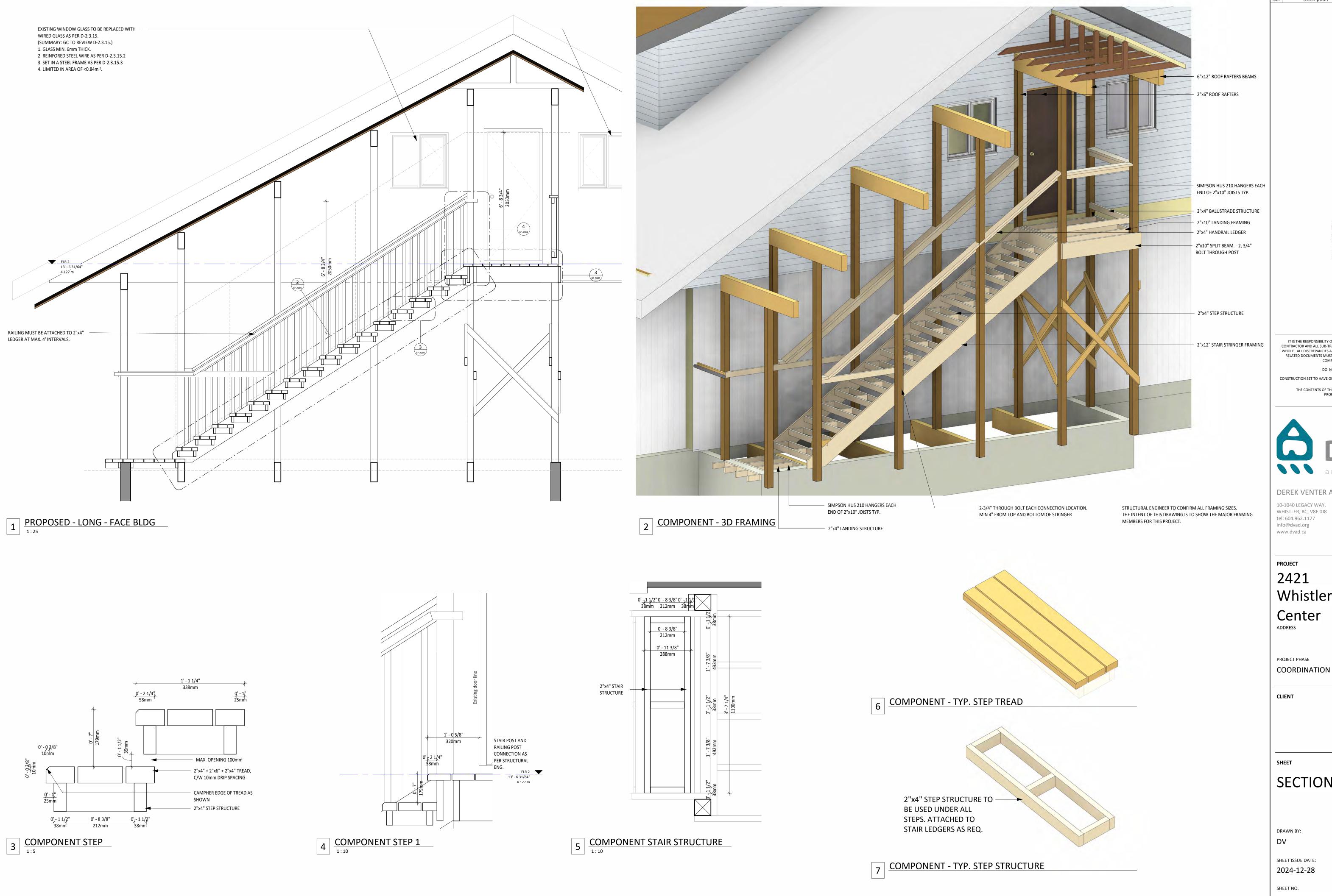
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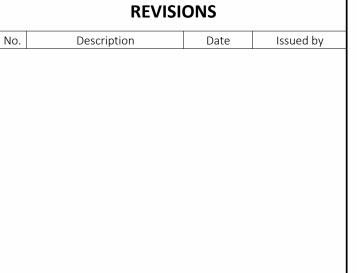
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# Whistler Art Run

## SECTIONS

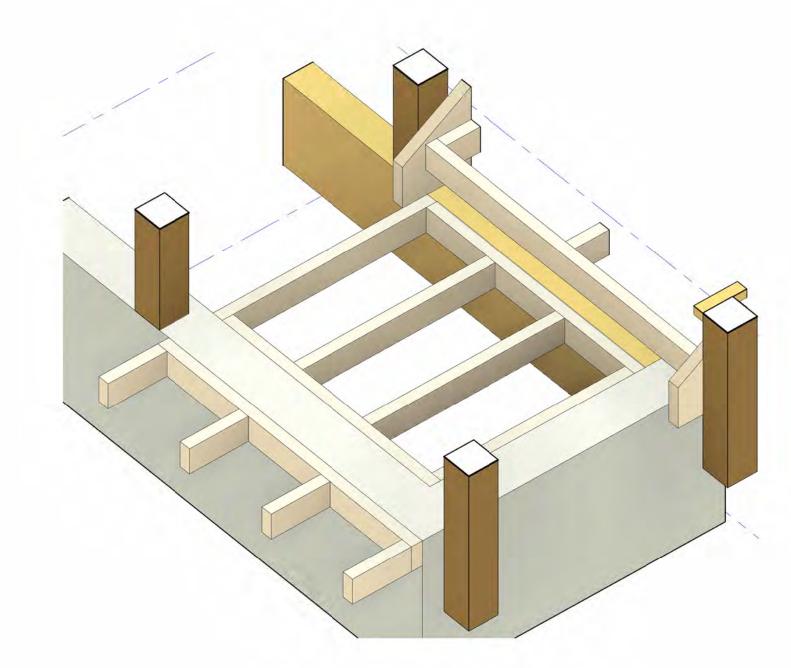
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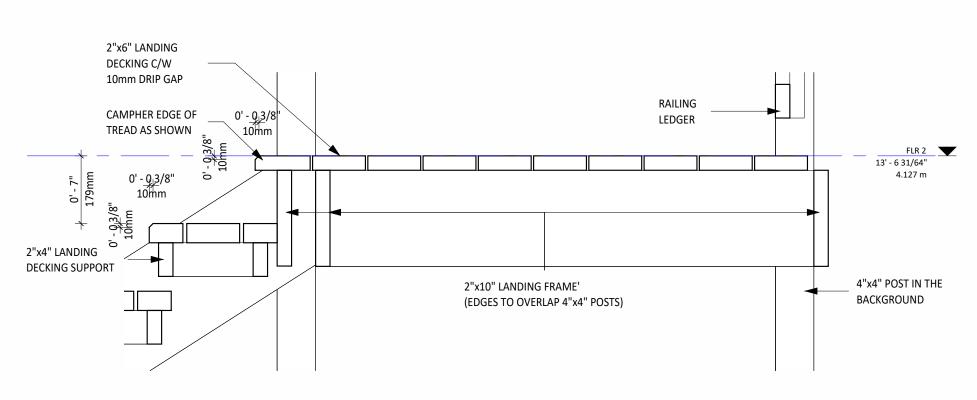
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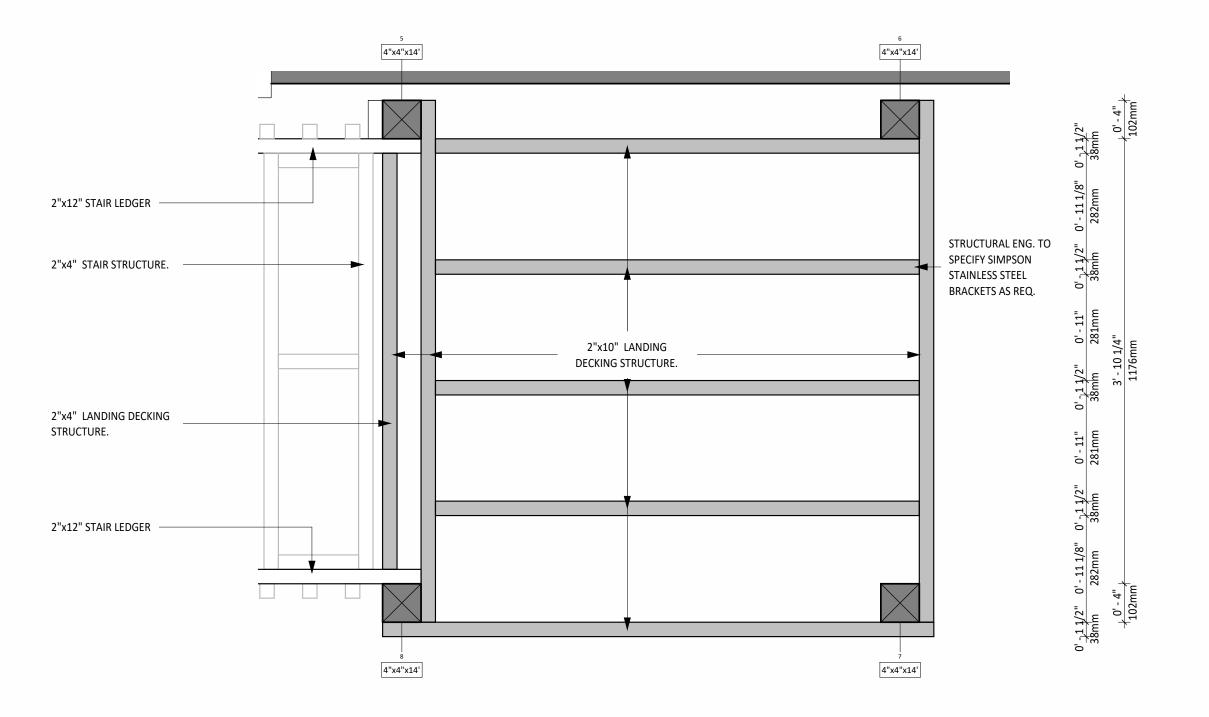
# 1 COMPONENT LANDING PLAN 1:10



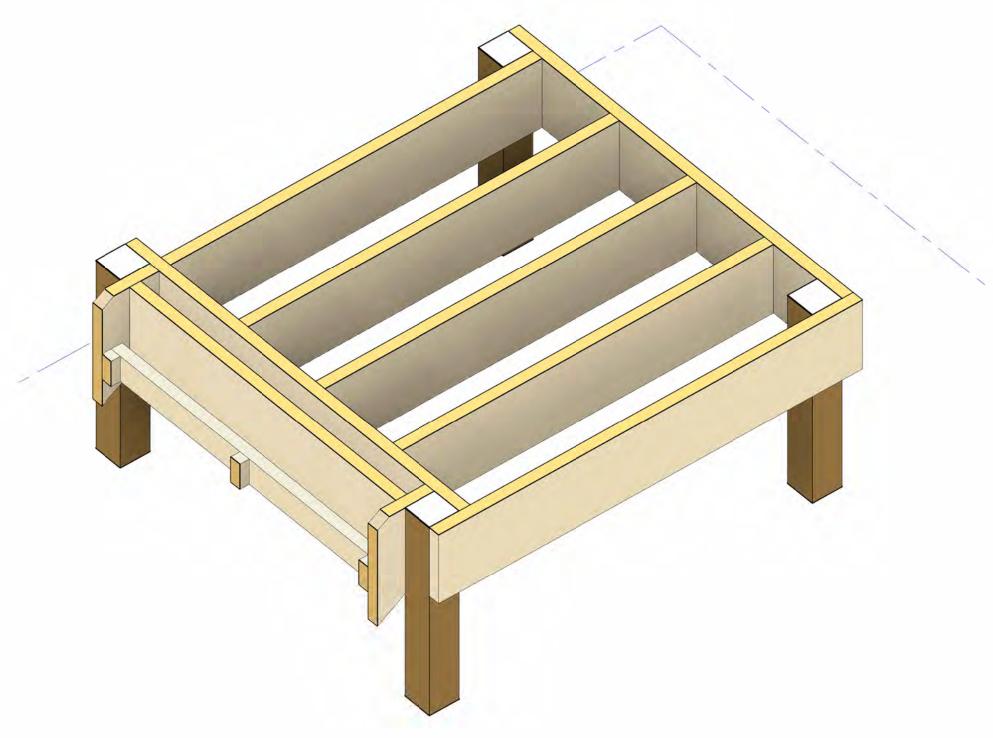
COMPONENT - LANDING 3D FRAMING LOW



3 COMPONENT LANDING



4 COMPONENT LANDING PLAN HIGH
1:10



5 COMPONENT - LANDING 3D FRAMING

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Date Issued by

LANDINGS

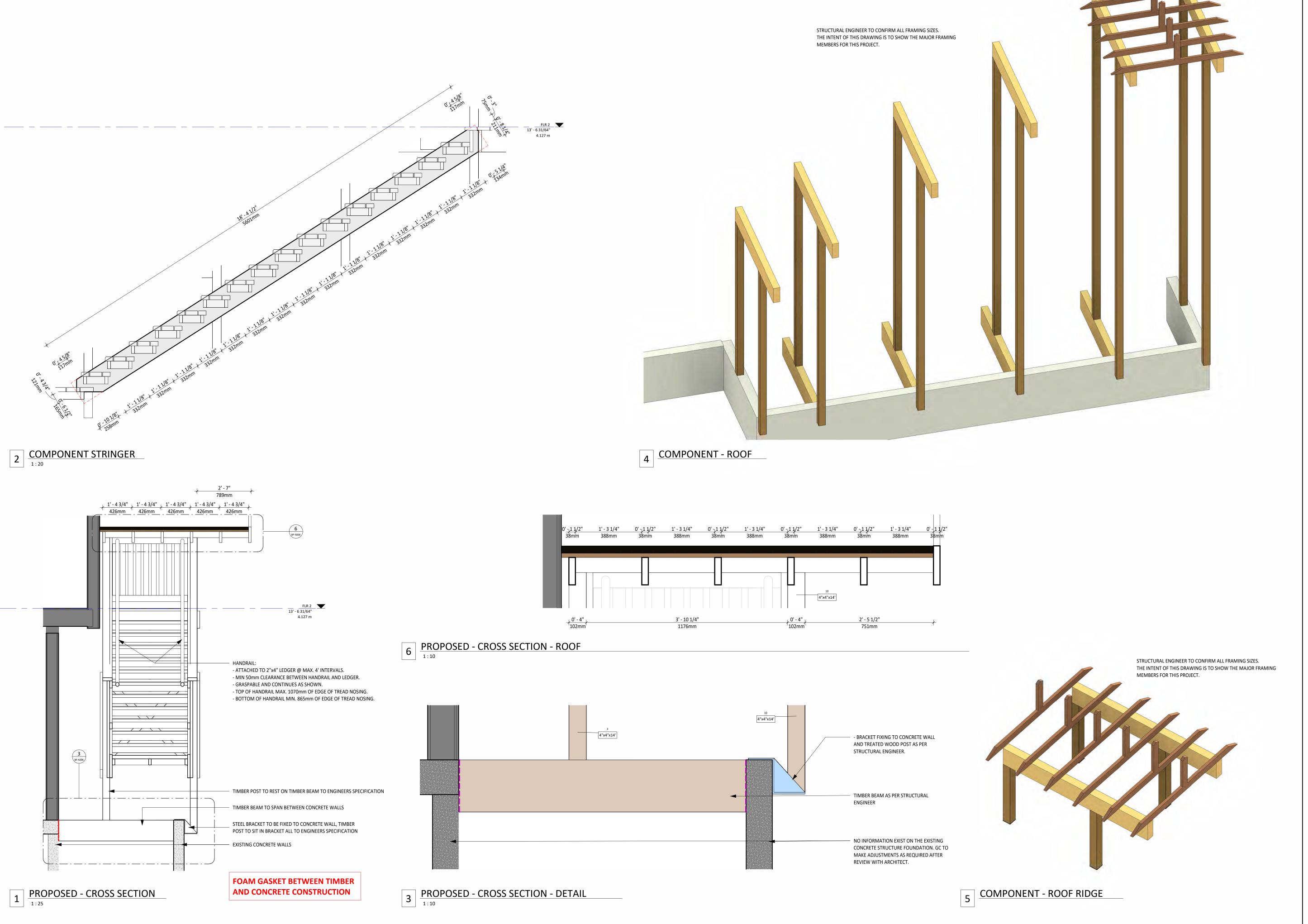
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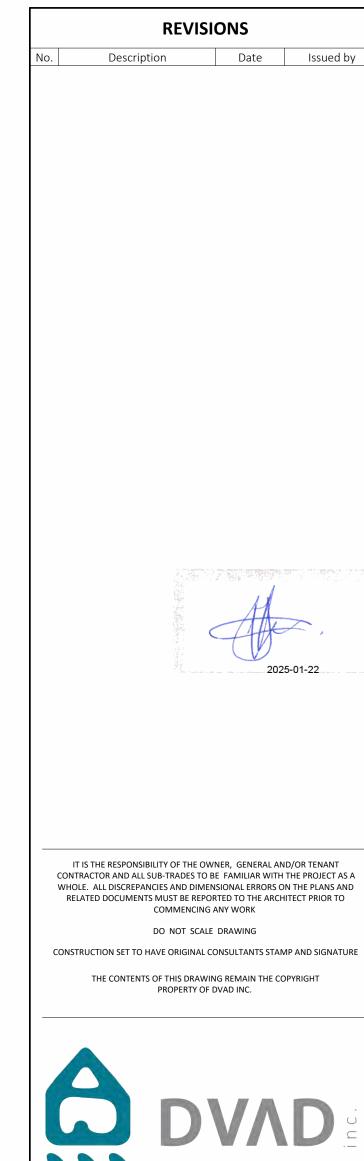
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SHEET NO. BP A005

PLOT DATE / TIME: 1/22/2025 10:23:00 PM







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PROJECT

# 2421 Whistler Art Run Center

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# ROOF & CONNECTIONS

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BP A006

PLOT DATE / TIME: 1/22/2025 10:23:19 PM

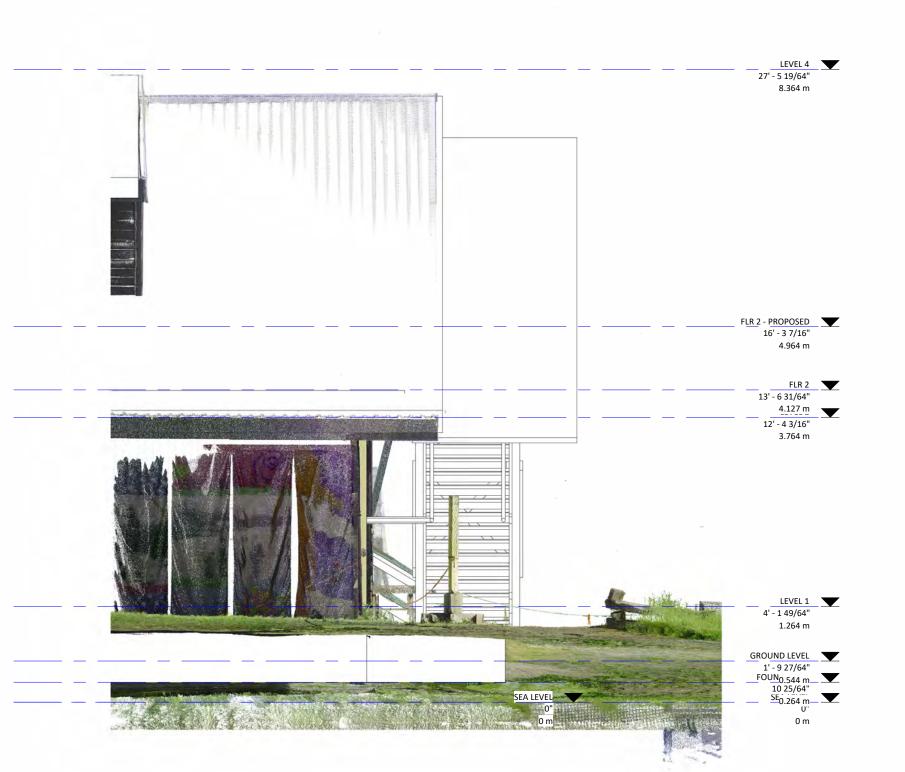




2 ELEVATION NORTH - PROPOSED



3 ELEVATION WEST - EXISTING



4 ELEVATION WEST - PROPOSED

1:50

**REVISIONS** 

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PROJECT

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SHEET

**ELEVATIONS** 

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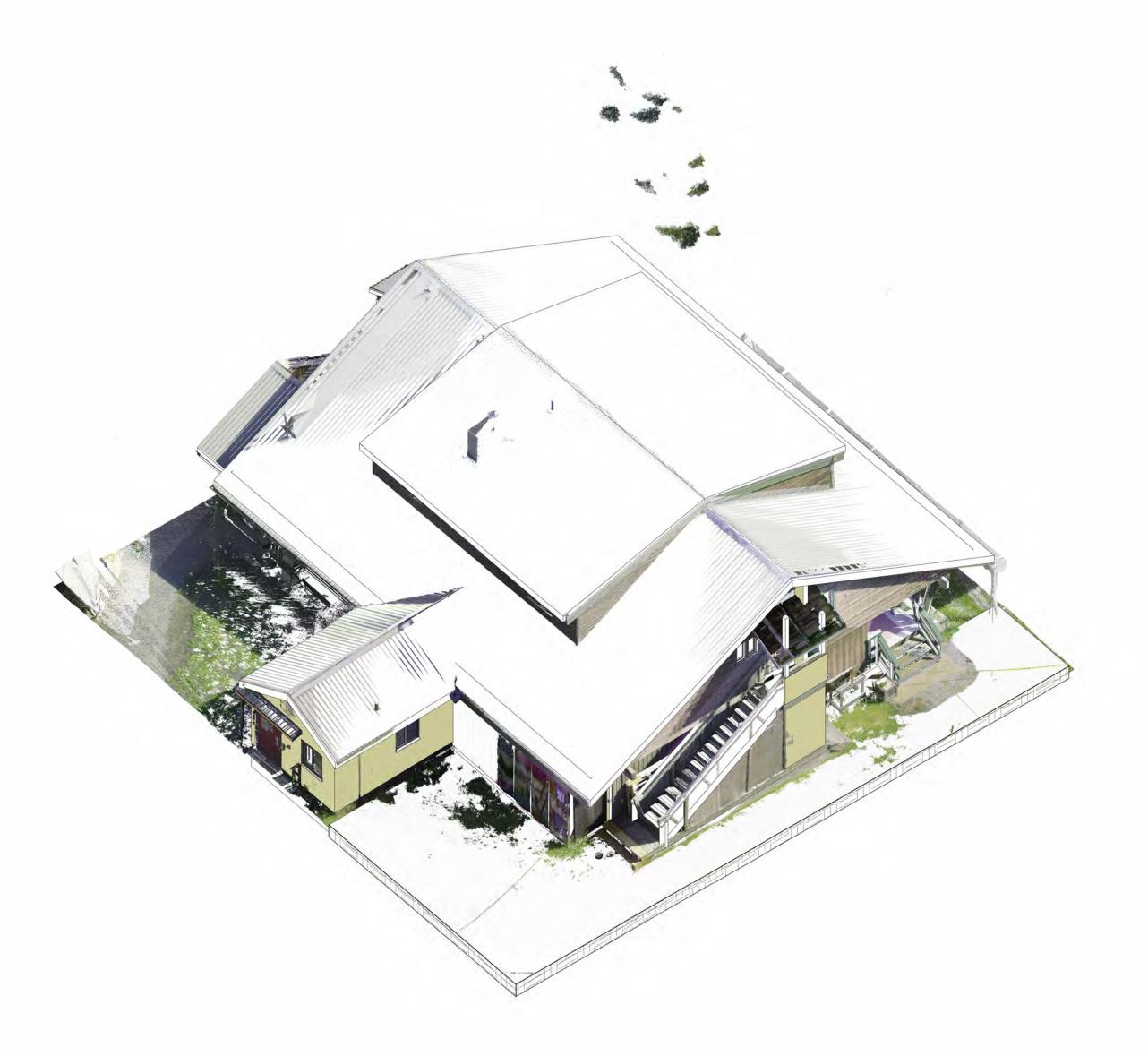
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BP A007

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1 Existing

2 Proposed

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## PERSPECTIVES

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