

No.	Description	Date	Issued by
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2025-01-22

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PROJECT

2421
Whistler Art Run
Center

ADDRESS

PROJECT PHASE

COORDINATION

CLIENT

SHEET

DEMOLITION AND CLEARANCE REQ

DRAWN BY

DV

CHECKED BY

DV

SHEET ISSUE DATE

2024-12-28

SCALE:

1 : 25

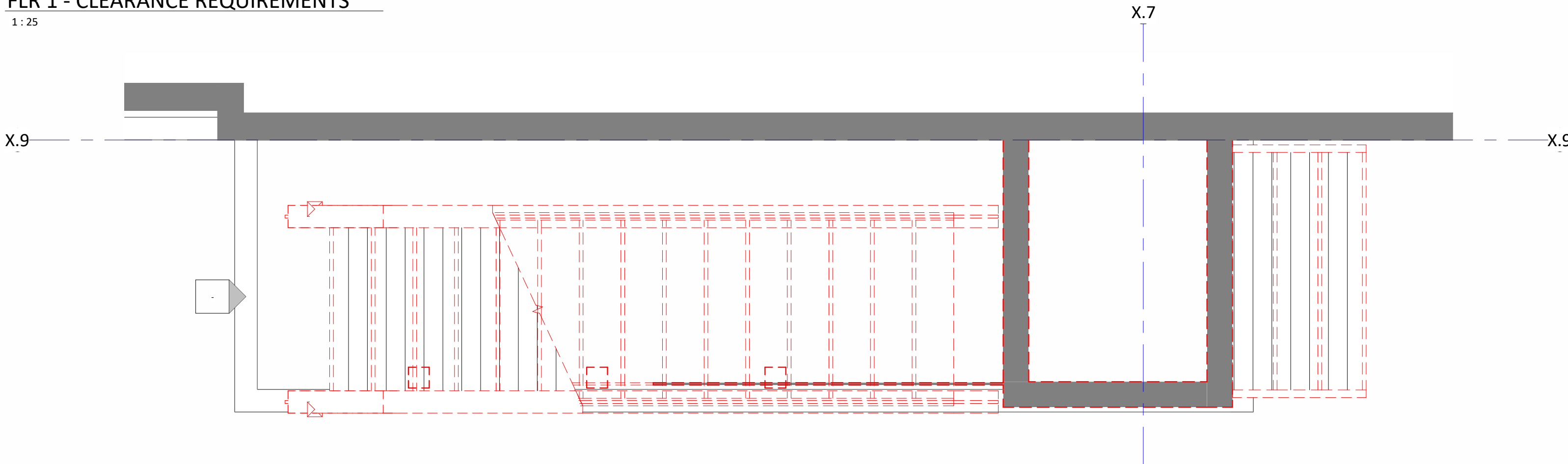
SHEET NO

BP A002

PLOT DATE / TIME: 1/22/2025 10:22:03 PM

FLR 1 - CLEARANCE REQUIREMENTS

1:29



3D View DEMOLITION

DEMOLITION AND RESTORATION:

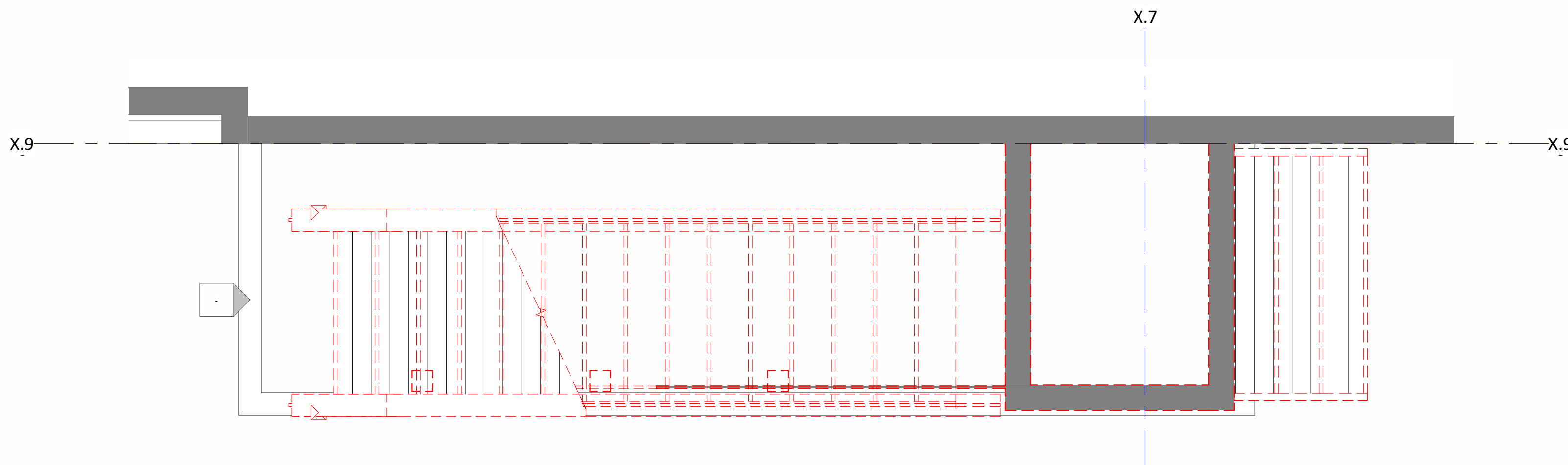
1. DEMOLISH EXISTING STAIR, COMPLETE WITH FOUNDATIONS AND HANDRAILS, CROSS BRACING.
2. MAKE GOOD EXISTING SIDING WHERE DAMAGED AS REQUIRED. ALL REPAIRS TO MATCH EXISTING IN MATERIAL AND FINISH SPECIFICATIONS TO MATCH LOOK.
3. GC TO PAY CAREFULL ATTENTION TO PROTECT EXISTING BUILDING WITH SPECIFIC CARE FOR ELECTRICAL AND OTHER PROTRUSIONS FROM THE BUILDING LOCATED UNDER THE EXISTING STAIR.

PROPOSED EXIT STAIR:

1. ELECTRICAL METER CLEARANCE REQUIREMENTS MIN. 1m FROM FRONT OF EQUIPMENT.
2. WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2
3. DOOR ON FIRST FLOOR AND WINDOW ON THE SECOND FLOOR. NO EXIT WITHIN 3m HORIZONTALLY. 3.2.3.13.2.

FLR 1 - DEMOLITION

1:2

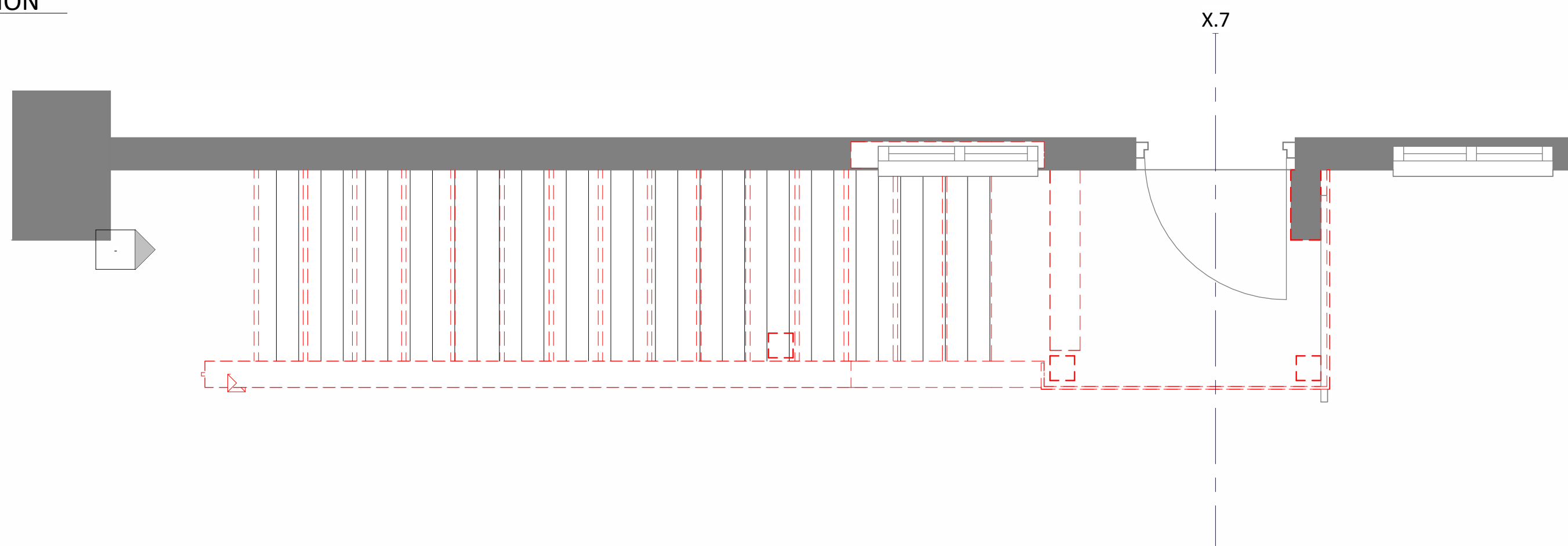


RESTORATION OF THE EXISTING BUILDING ENVELOPE:

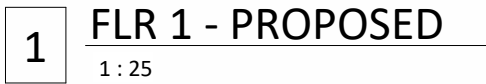
THE GC SHOULD REVIEW THE EXISTING BUILDING ENVELOPE WHERE AFFECTED BY THE DEMOLITION OF THE EXISTING STAIR AND TOP LANDING. THE ENVELOPE SHOULD BE RESTORED IN A LIKE MANNER AS TO THE CONSTRUCTION OF THE EXISTING. SHOULD THIS PRODUCE ANY PROBLEMATIC OR NON-COMPLIANCE TO THE BUILDING CODE AT THE TIME OF CONSTRUCTION THE EXPOSED ENVELOPE SHOULD BE REVIEWED BY THE ARCHITECT AND A SUITABLE SOLUTION CAN BE PROVIDED.

FLR 2 - DEMOLITION

1:2



2025-01-22



3 FLR 2 - SPINDLE SPACING



EXISTING WINDOW GLASS TO BE REPLACED WITH
WIRED GLASS AS PER D-2.3.15.
(SUMMARY: GC TO REVIEW D-2.3.15.)

1. GLASS MIN. 6mm THICK.
2. REINFORCED STEEL WIRE AS PER D-2.3.15.2
3. SET IN A STEEL FRAME AS PER D-2.3.15.3
4. LIMITED IN AREA OF <0.84m².

FLR 2
13' - 6 3/16"
4.127 m

6' - 8 3/16"
2050mm

6' - 8 3/16"
2050mm

3
1/2" x 1/2"

4
1/2" x 1/2"

3
1/2" x 1/2"

RAILING MUST BE ATTACHED TO 2"x4"
LEDGER AT MAX. 4' INTERVALS.

1 PROPOSED - LONG - FACE BLDG
1 : 25



BP A004

PLOT DATE / TIME: 1/22/2025 10:22:43 PM



DVAAD inc.
architecture

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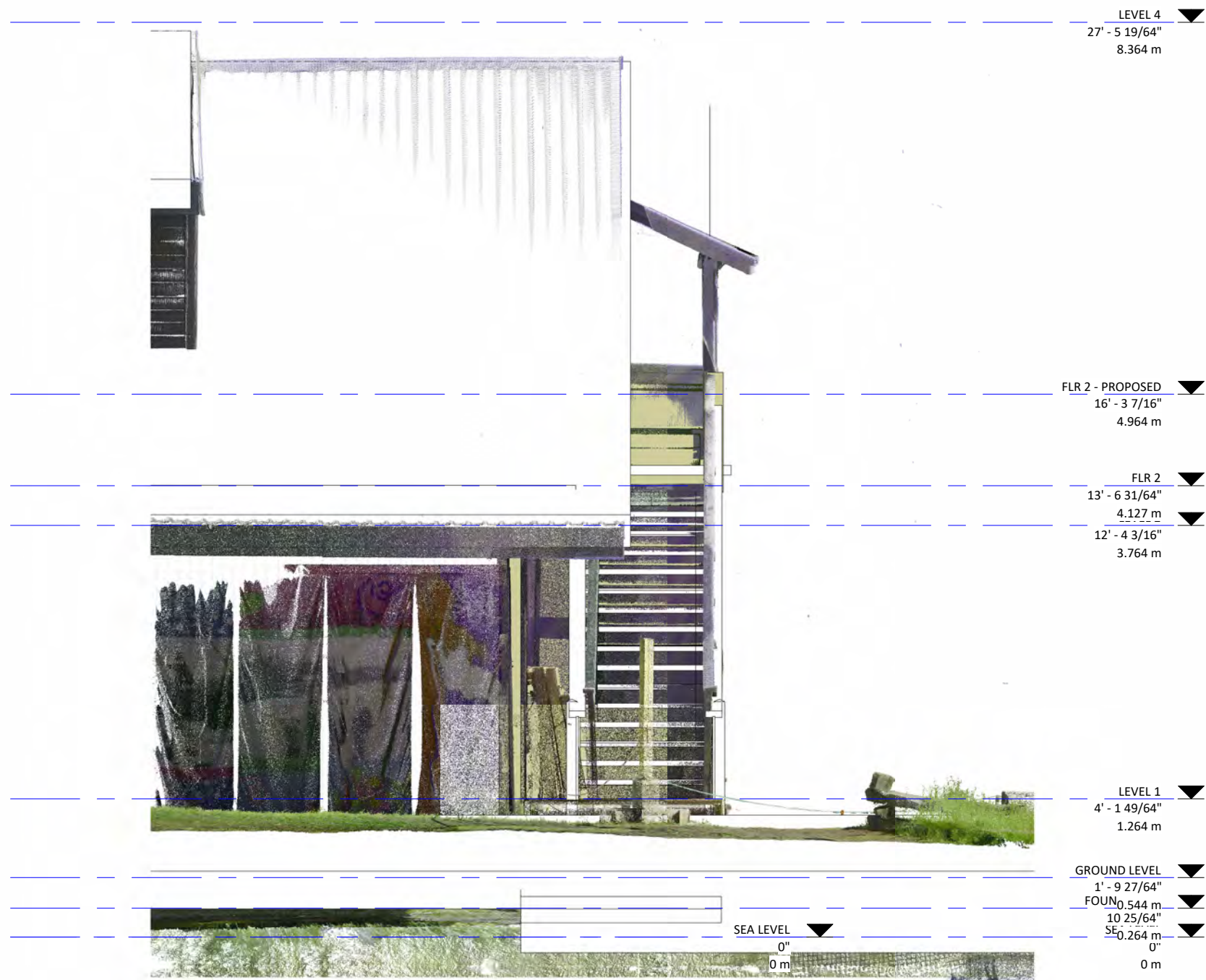
\\\\dvdserver15\\DVAD15 - 03 PROJECT-FOLDERS\\2024\\2421-RMOW-The Point\\2421-RMOW-Point\\F - Drawings\\05 - Revit\\2421-RMOW-ThePoint-No Lights-20250122 dv.rvt



1 ELEVATION NORTH - EXISTING
1 : 50



2 ELEVATION NORTH - PROPOSED
1 : 50



3 ELEVATION WEST - EXISTING
1 : 50



4 ELEVATION WEST - PROPOSED
1 : 50

REVISIONS			
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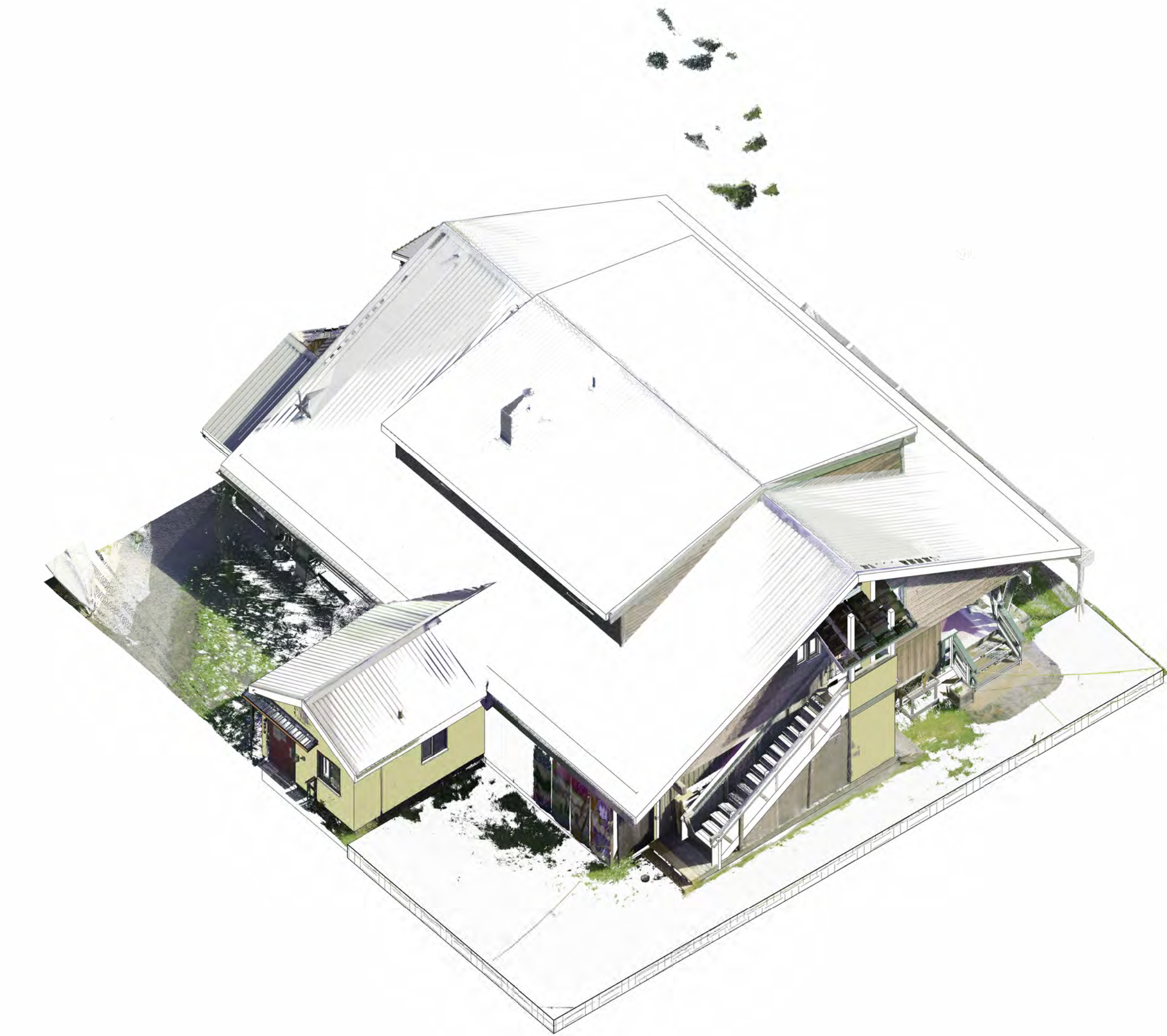
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1 Existing



2 Proposed

REVISIONS

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PERSPECTIVES

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