



WHISTLER MUNICIPAL ALTERNATIVE SOLUTIONS

2024.07.29 Addendum #01



PROJECT # 5330-02-1026-01

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

ARCHITECTURAL

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F. 403.670.7051
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ARCHITECTURAL

- A0.00 COVER SHEET
- A0.01 BUILDING SCHEDULES
- A0.02 CODE ANALYSIS
- A0.03 PHASING PLAN
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CODE CONSULTANT



PONTM GROUP
SUITE 309-63 W 6TH AVENUE
VANCOUVER, BC, V5Y 1K2
PHONE: 604-202-8167

SPRINKLER CONSULTANT



NOVOTA ENGINEERING
PHONE: 607.449.2002

SPRINKLER

- F-1 FIRE PROTECTION SPINKLER SYSTEM
- F-2 FIRE PROTECTION SPINKLER SYSTEM

MECHANICAL CONSULTANT

HENA CONSULTIN INC
PHONE: 778.970.1772

MECHANICAL

- M-1.0 GENERAL NOTES, SYMBOLS, SITE PLAN & FLOOR PLAN, & DETAILS
- M-2.0 SPECIFICATIONS

CIVIL CONSULTANT



ISL ENGINEERING AND LAND SERVICES
PHONE: 607.815.4646

CIVIL

- 01 NOTES, LEGEND & DETAILS
- 02 PLAN

CLIENT



RESORT MUNICIPALITY OF WHISTLER
4325 BLACKCOMB WAY
WHISTLER, BC, V8E 0X5
PHONE: 604.932.5535

NOTE

- This drawing supercedes previous issues. Do not scale these drawings.
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ISSUED	DATE
ISSUED FOR BP	2024.05.06
ISSUED FOR IFT/IFC	2024.07.02
Addendum #01	2024.07.29

SEALS

SCALE

DATE 7/29/2024 2:40:31 PM

DRAWN BY GP/IZ TRUE NORTH

CHECKED BY GP

PROJECT NO. 5330-02-1026-01 PROJECT NORTH

DRAWING TITLE

COVER SHEET

DRAWING NO.

A0.00

Door and Frame Schedule

DOOR NUMBER	TYPE	DOOR				FRAME			GLAZING	FIRE LABEL	HARDWARE TYPE	REMARKS
		LEAFS	PANEL 1 WIDTH	PANEL 2 WIDTH	HEIGHT	MAT'L	FINISH	TYPE				
E101	A	1	915		2135	HM	PT	A	PS		N/A	1,2,3

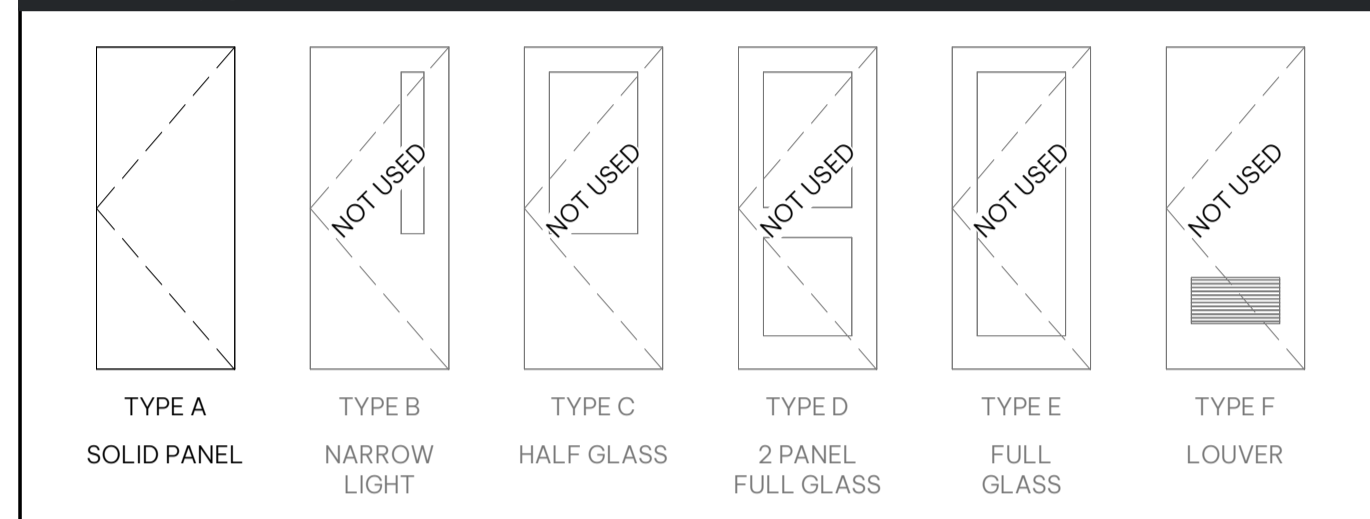
Door Material Legend

ABBREVIATION	MATERIAL	ABBREVIATION	MATERIAL	ABBREVIATION	MATERIAL
AL	ALUMINUM	MW	METAL CLAD WOOD		
CW	WOOD CASING/ JAMB	HG	GALVANIZED HOLLOW METAL	PG	GALVANIZED PRESSED STEEL
FG	FIBERGLASS	HI	INSULATED HOLLOW METAL	PS	PRESSED STEEL
GF	FIRE GLAZING	HM	HOLLOW METAL	SW	SOLID CORE WOOD
GL	CLEAR GLAZING	HW	HOLLOW CORE WOOD	VL	VINYL
GT	TEMPERED GLAZING				

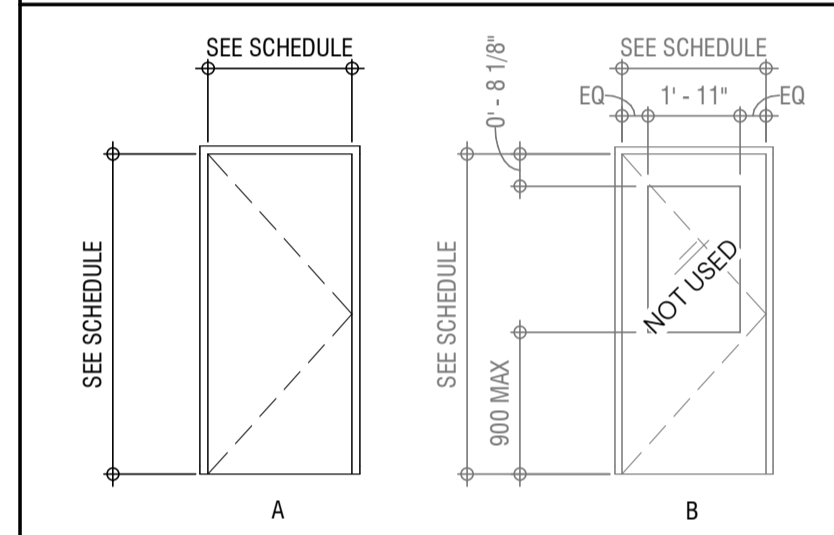
Door Schedule Notes

- EXISTING DOOR TO BE REPAINTED TO MATCH EXISTING COLOUR
- EXISTING DOOR FRAME TO REMAIN, PAINT TO MATCH EXISTING COLOUR
- NEW DOOR HARDWARE PROVIDED BY RMOW

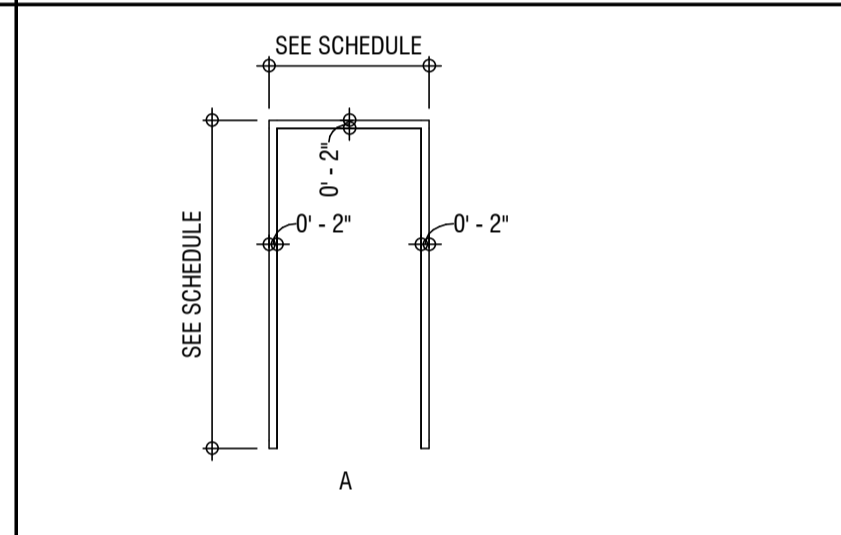
Door Type Elevations



Door Types



Frame Types



Glazing General Note

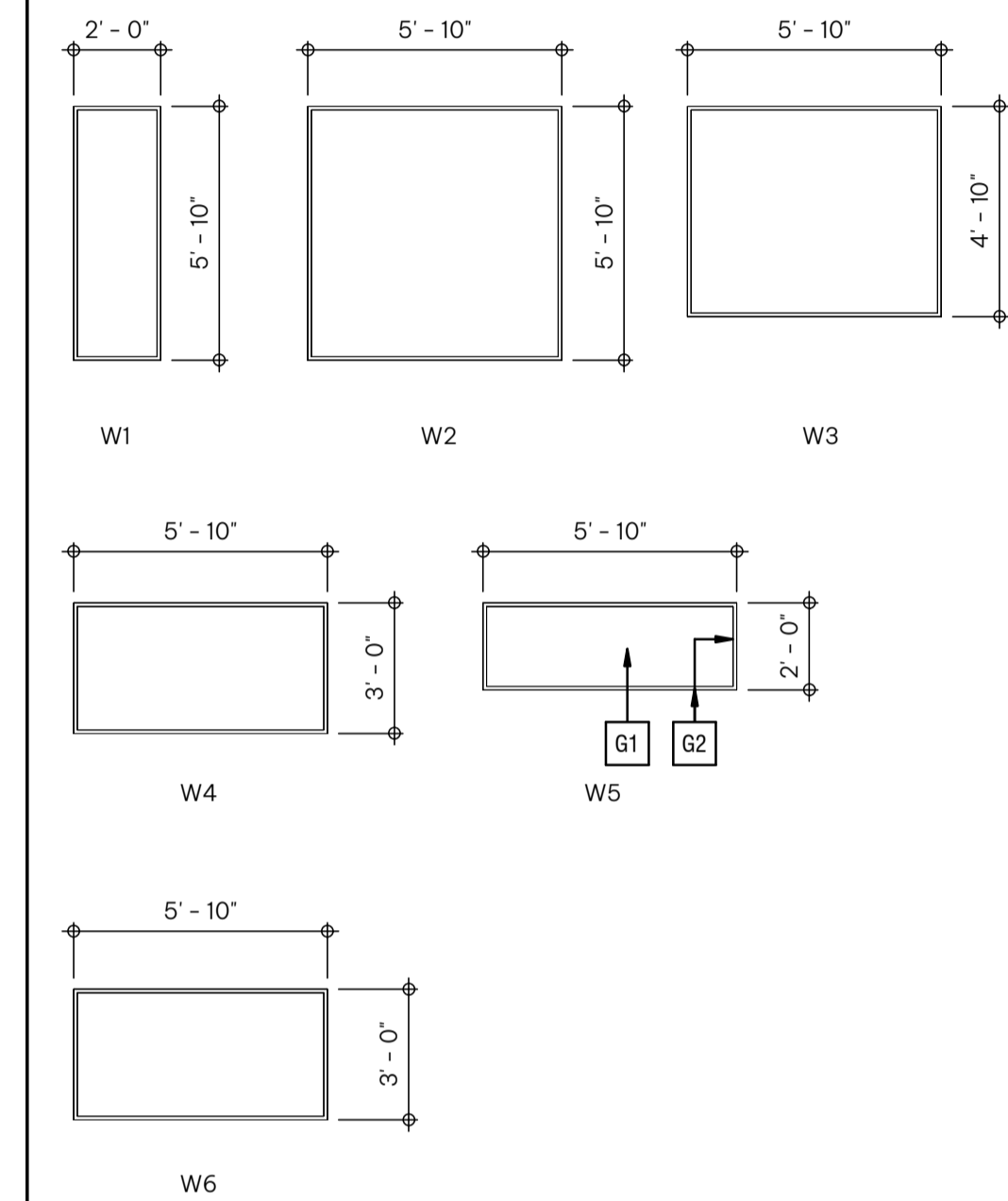
- REFER TO A4.01 & A4.02 FOR LOCATION OF EXISTING WINDOWS TO BE REMOVED AND REPLACED.
- ALL NEW WINDOWS TO BE IN ALUMINUM FRAME, DOUBLE PANE AND LOW-E U.N.O.

BASIS OF DESIGN: AA 6500 FIXED 5" WINDOW
MANUFACTURER: KAWNEER
COLOUR: DARK BRONZE, CONFIRM COLOUR ON SITE
- ENSURE ALL NEW WINDOWS ARE TO REPLICATE THE EXISTING OPERABLE CONDITIONS, GC TO COORDINATE WITH CLIENT PRIOR TO ORDERING.

Glazing Notes

- G1 45min FIRE RATED GLASS
- G2 45min RATED PRESSED STEEL FRAME. REFER TO DETAIL 7/A6.01 & 8/A6.01

Glazing Schedule



Wall & Partition - General Notes

- ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING UNLESS NOTED OTHERWISE. BRACE AS REQUIRED. IF NO CEILING IS PROVIDED IN ADJACENT ROOM INTERIOR PARTITIONS ARE TO EXTEND TO U/S OF STRUCTURE UNLESS NOTED OTHERWISE. PROVIDE DEFLECTION JOINT
- PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT. REFER TO EXTING AND CODE REVIEW PLANS FOR REQUIRED FIRE RATING LOCATIONS

Exterior Cladding Assemblies

E# DENOTES EXTERIOR ASSEMBLY - REFER TO ASSEMBLY DESCRIPTION BELOW

- E1 - FIBRE CEMENT SIDING - REFER TO ELEVATIONS FOR COLOUR
- 7/8" METAL FURRING CHANNEL SECURED TO STRUCTURE WITH LONG SCREWS
- 2" SEMI RIGID INSULATION
- VAPOUR PERMEABLE MOISTURE BARRIER
- EXISTING SHEATHING
- E2 - FIBRE CEMENT SIDING - REFER TO ELEVATIONS FOR COLOUR
- 1-1/2" METAL FURRING CHANNEL SECURED TO STRUCTURE WITH LONG SCREWS
- 2" SEMI RIGID INSULATION
- VAPOUR PERMEABLE MOISTURE BARRIER
- EXISTING SHEATHING
- E3 - FIBRE CEMENT SIDING - REFER TO ELEVATIONS FOR COLOUR
- 7/8" METAL FURRING CHANNEL SECURED TO STRUCTURE WITH LONG SCREWS
- VAPOUR PERMEABLE MOISTURE BARRIER
- EXISTING SHEATHING

Partition Assemblies

P# DENOTES PARTITION ASSEMBLY - REFER TO ASSEMBLY DESCRIPTION BELOW

- P1 - 15.9mm GYPSUM BOARD
- 38 x 89mm WOOD STUDS @ 400mm O.C.

References - Symbol Legend

ARCHITECTURAL GRID LINE
A ---

ROOM NAME AND NUMBER
ROOM --- INDICATES ROOM NAME
000 --- INDICATES ROOM NUMBER

CONSTRUCTION ASSEMBLY TAG
000 REFER TO CONSTRUCTION ASSEMBLY LEGENDS ON SHEET A0.XX

REFERENCE KEYNOTE CODE TAG
000 REFER TO KEYNOTE CODE LEGEND

DOOR NUMBER TAG
000 REFER TO DOOR SCHEDULE

EXTERIOR WINDOW TAG
W00 REFER TO WINDOW SCHEDULE ON SHEET A0.XX

INTERIOR GLAZING TAG
G00 REFER TO INTERIOR GLAZING SCREEN SCHEDULE ON SHEET A0.XX

FINISH MATERIAL TAG
000 REFER TO FINISH SCHEDULE, DRAWING AX.XX

DETAIL REFERENCE MARKER
0 --- INDICATES VIEW NUMBER
A0.00 --- INDICATES SHEET NUMBER WHICH DETAIL IS SHOWN

EXTERIOR ELEVATION REFERENCE MARKER
0 --- INDICATES VIEW NUMBER
A0.00 --- INDICATES SHEET NUMBER WHICH DETAIL ELEVATION IS SHOWN

INTERIOR ELEVATION REFERENCE MARKER
A101 --- INDICATES SHEET NUMBER WHICH INTERIOR ELEVATION IS SHOWN
A101 --- INDICATES VIEW NUMBER

PHOTO LOCATION REFERENCE MARKER
0 --- INDICATES VIEW NUMBER
A0.00 --- INDICATES SHEET NUMBER WHICH PHOTO IS SHOWN

BUILDING SECTION REFERENCE MARKER
0 --- INDICATES VIEW NUMBER
A0.00 --- INDICATES SHEET NUMBER WHICH SECTION IS SHOWN

WALL / PARTIAL SECTION REFERENCE MARKER
0 --- INDICATES VIEW NUMBER
A0.00 --- INDICATES SHEET NUMBER WHICH SECTION IS SHOWN

ELEVATION / LEVEL MARKER
LEVEL NAME --- LEVEL NAME
EL. ELEVATION --- ELEVATION

VIEW TITLE
0 --- INDICATES VIEW NUMBER
Title --- INDICATES VIEW TITLE
A0.00 SCALE: 1:1 --- INDICATES VIEW SCALE
A0.00 --- INDICATES SHEET NUMBER
A0.00 --- INDICATES SHEET OF ORIGIN

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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CHECKED BY GP

PROJECT NO. 5330-02-1026-01 PROJECT NORTH

DRAWING TITLE

BUILDING SCHEDULES

DRAWING NO.

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

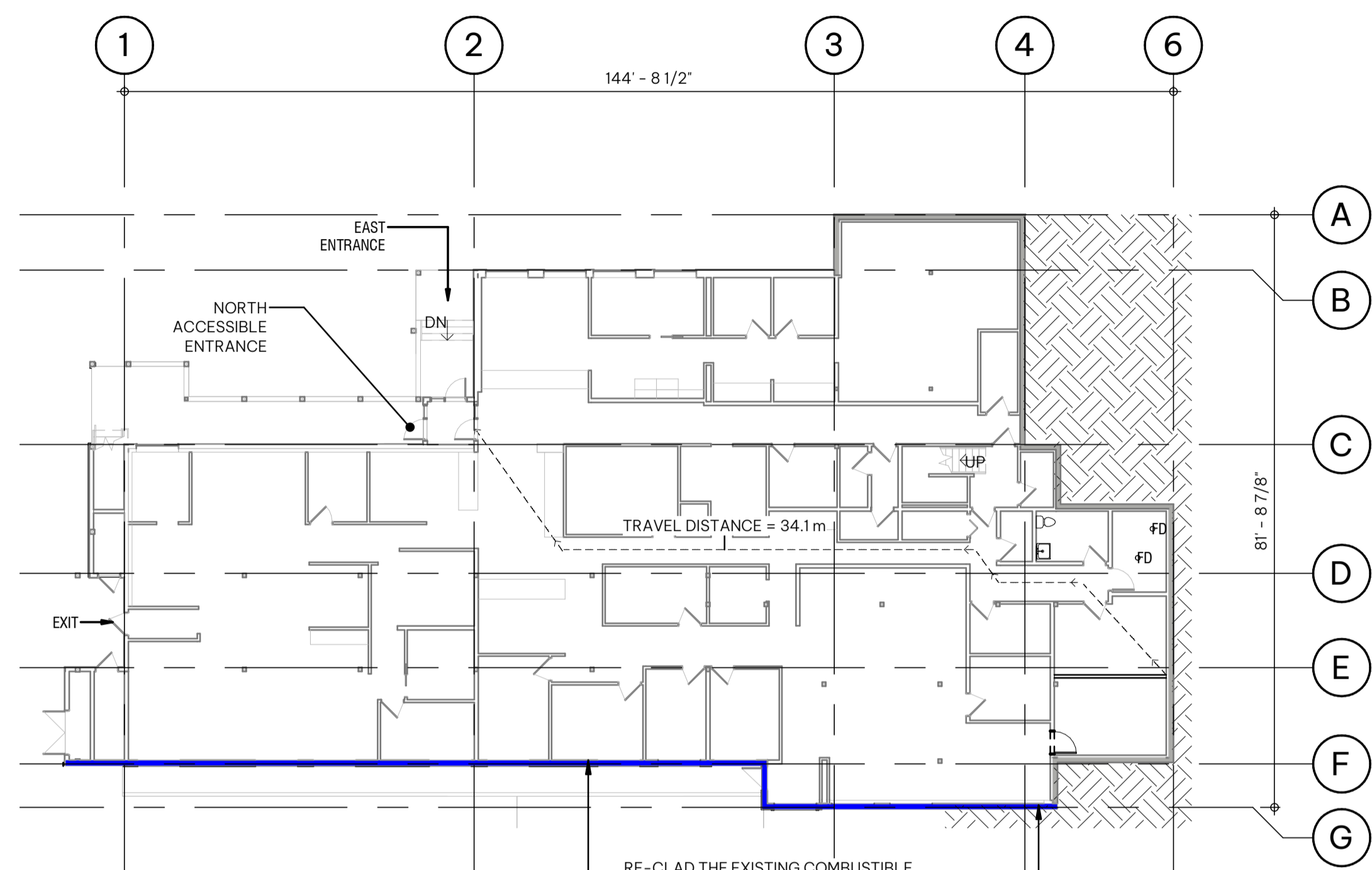
4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

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Resort Municipality of Whistler

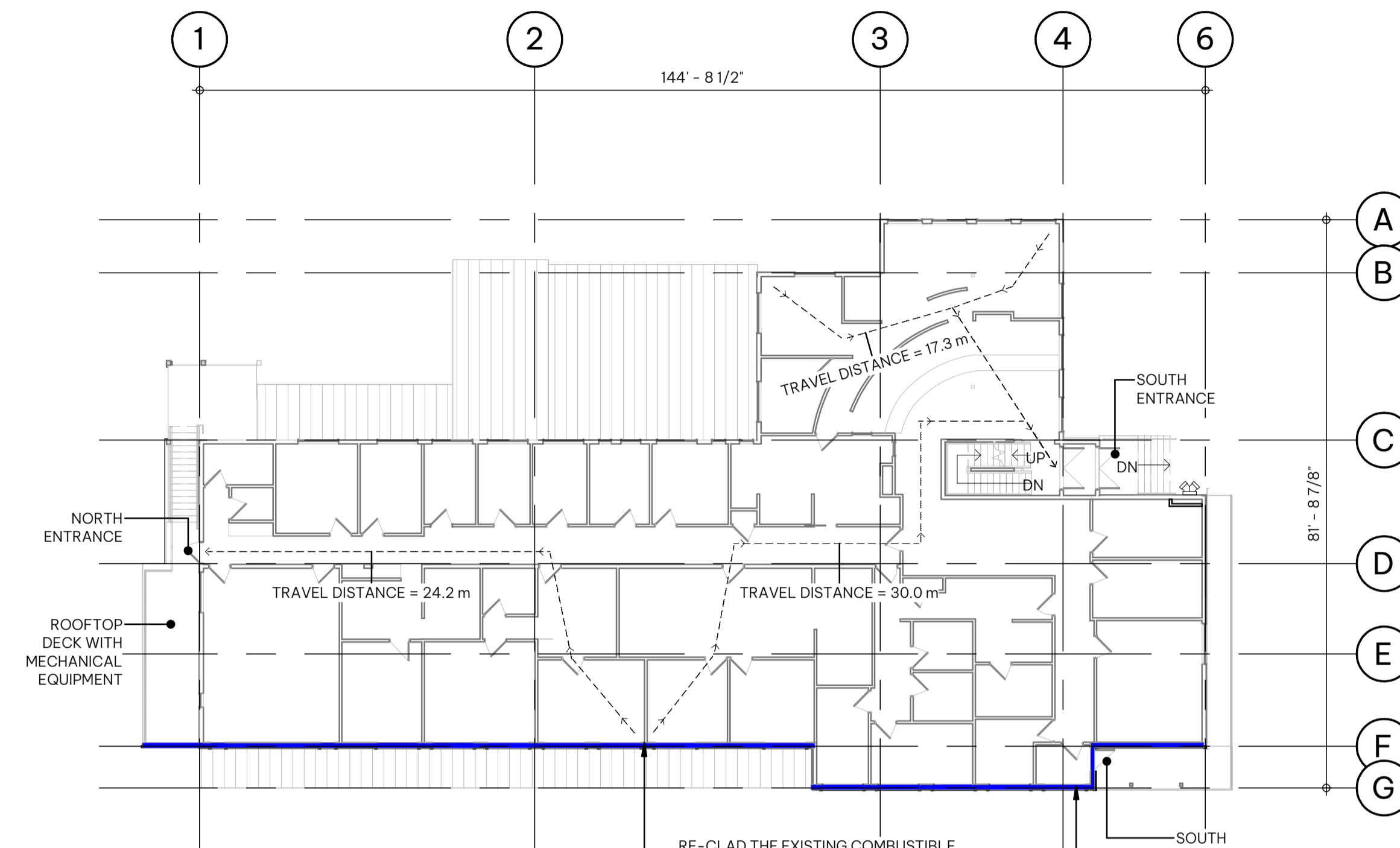
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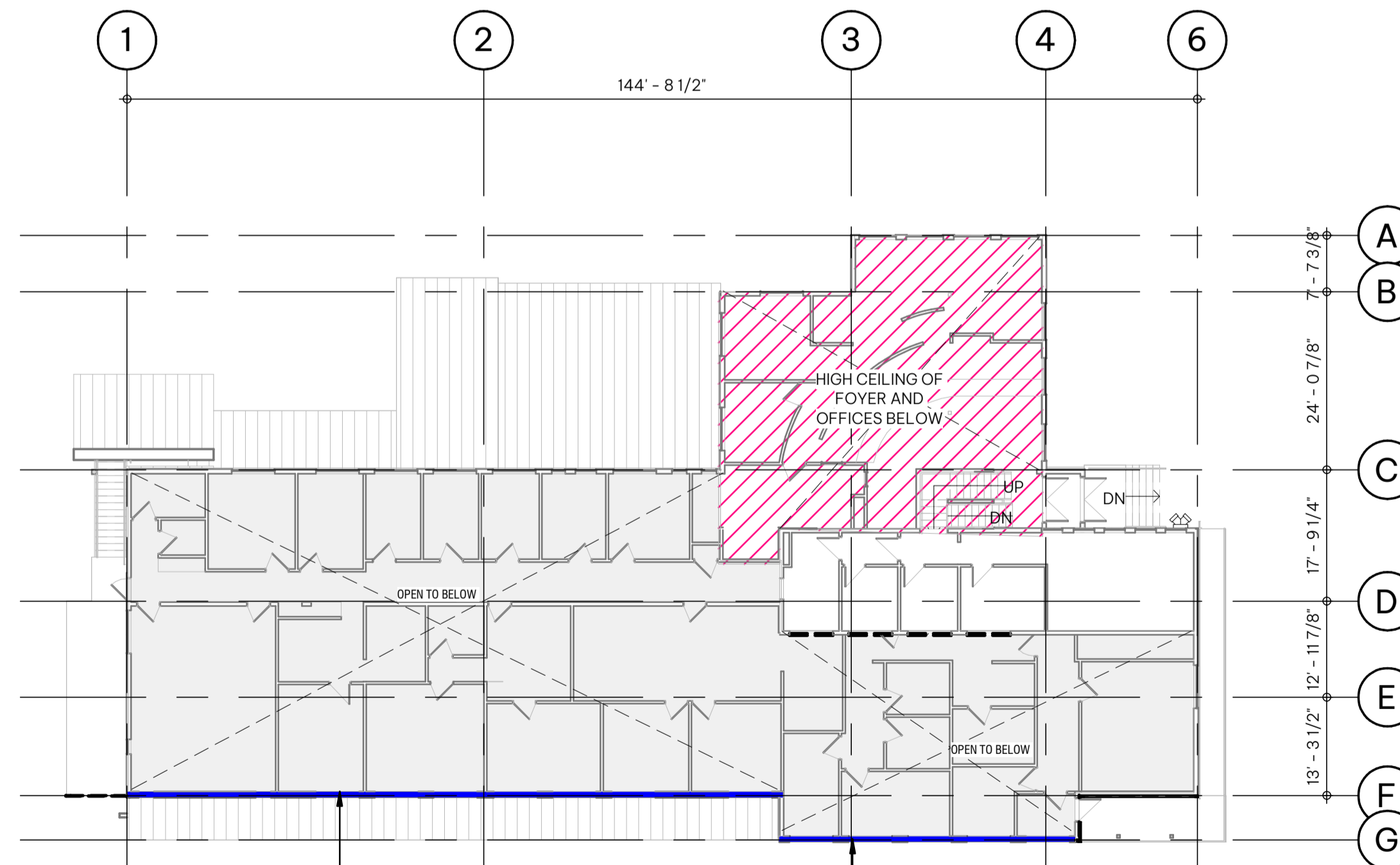
ISSUED	DATE
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ISSUED FOR IFT/IFC	2024.07.02
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1 Level 1 - Floor Plan Exiting
A0.02 SCALE: 1: 200
A4.01



2 Level 2 - Floor Plan Exiting
A0.02 SCALE: 1: 200
A4.01



3 LEVEL 3 - Floor Plan Exiting
A0.02 SCALE: 1: 200
A4.01

BUILDING CODE CLASSIFICATION

BUILDING CODE: BCBC 2018
CLASSIFICATION: 3.2.2.60 GROUP D, UP TO 3 STOREYS, NON-SPRINKLERED, COMBUSTIBLE AND NON-COMBUSTIBLE CONSTRUCTION (3.2.2.60)
 FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIO HAVING A FIRE-RESISTANCE RATING NOT LEDD THAN 45 MIN. (3.2.2.60.(2a))
MAX AREA: REFER TO TABLE 3.2.2.60
TRAVEL DISTANCE: 40m (3.4.2.5)

REFER TO PONTEM GROUP "ALTERNATIVE SOLUTION REPORT" DATED APRIL 25, 2024 FOR ADDITIONAL BUILDING CODE INFORMATION RELATING TO THE EXSITING MUNICIPAL HALL.

Exiting & Fire Separation - Legend

- LINE INDICATES EXISTING OHR, SMOKE SEPARATION
- LINE INDICATES EXISTING FIRE SEPARATION W/ 45MIN. F.R.R.
- LINE INDICATES EXISTING FIRE SEPARATION W/ 1HR. F.R.R.
- INDICATES DIRECTION OF TRAVEL
- ↑ MAIN ENTRY
- ↑ EXIT
- (45 MIN. LB) INDICATES 45 MIN. F.R.R. LOAD BEARING ASSEMBLY

CODE ANALYSIS GENERAL NOTES

- REFER TO "ALTERNATIVE SOLUTION REPORT" PROVIDED BY PONTEM GROUP DATED 2024.04.06 FOR COMPLETE CODE ANALYSIS ON EXISTING MUNICIPAL HALL IMPROVEMENT REQUIREMENTS

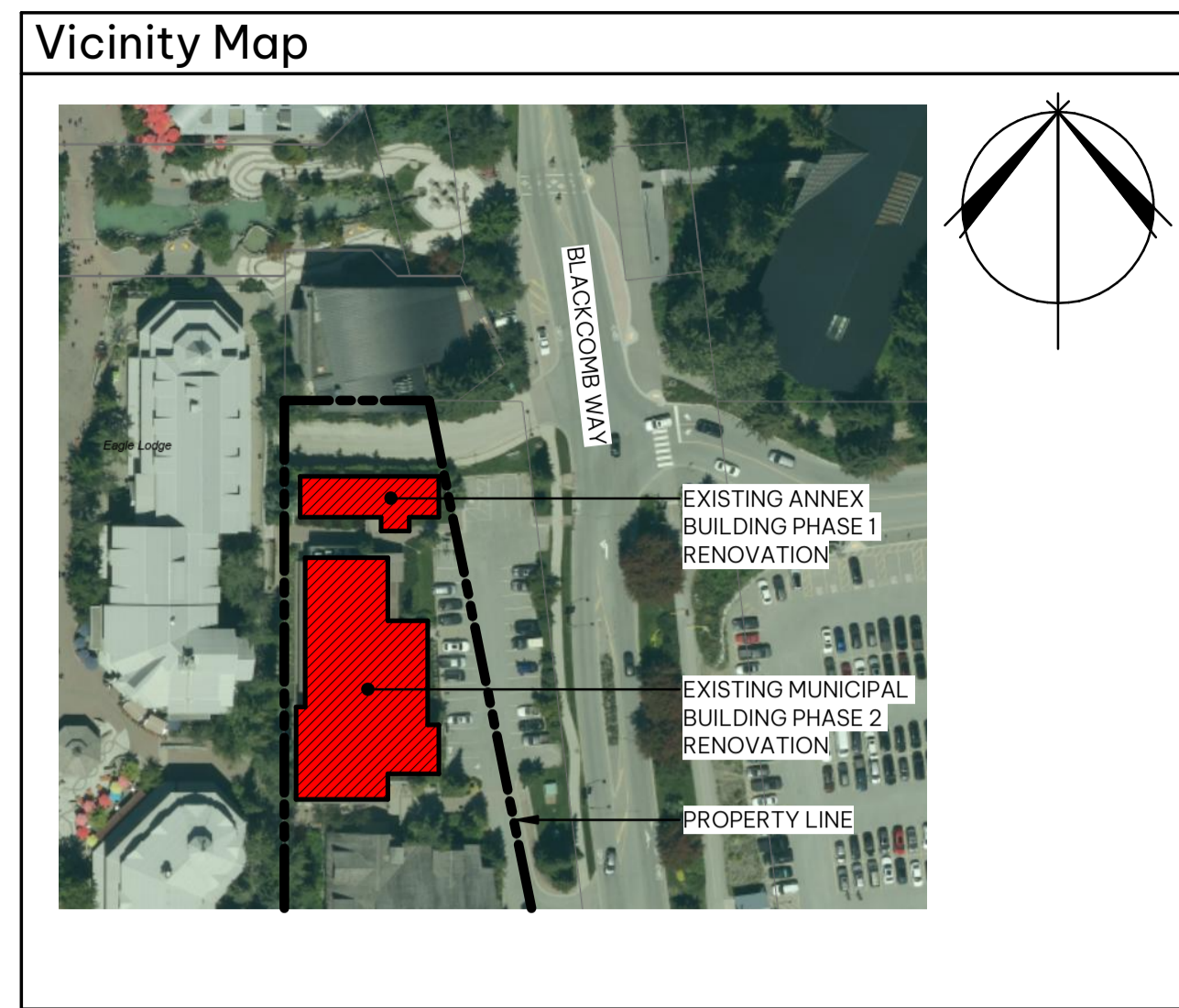
SEALS

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PROJECT NO.	5330-02-1026-01
DRAWING TITLE	

CODE ANALYSIS

DRAWING NO.

A0.02



Site - Information

MUNICIPAL ADDRESS: 4325 BLACKCOMB WAY
WHISTLER, BC, V8E 0X5

LEGAL ADDRESS: P.I.D. 015-849-546, D.L. 4559, GP. 1, N.W.D

GROSS SITE AREA: 6,405 m²

BUILDING AREA: 816 m²

TOTAL FLOOR AREA: 1605 m²
(ABOVE GRADE)

PROJECT DESCRIPTION

THE EXISTING BUILDINGS COMPRISES OF A THREE-STORY MUNICIPAL HALL SPANNING APPROXIMATELY 816 SQUARE METERS AND A ONE-STORY ANNEX BUILDING SPANNING APPROXIMATELY 187 SQUARE METERS. CURRENTLY, THE BUILDINGS ARE CONSTRUCTED OF COMBUSTIBLE MATERIAL AND NO SPRINKLER SYSTEM IS INSTALLED.

THE PROPOSED UPGRADES TO THE EXISTING MUNICIPAL HALL AIM TO RECTIFY NONCOMPLIANT ASPECTS OF THE BUILDING, INCLUDING SPATIAL SEPARATION CONCERNS ON THE WESTERN SIDE, ENSURING THE PROTECTION OF EGRESS ROUTES ALONG ACCESSIBLE PATHWAYS, COMPLYING WITH FIRE SEPARATION REQUIREMENTS SUCH AS GLAZING, AND ACHIEVING THE NECESSARY FIRE RESISTANCE RATINGS FOR WALLS AND THE ROOF STRUCTURE.

PHASING DESCRIPTION

PHASE 1
RENOVATION AND ADDITION OF THE ANNEX BUILDING.

TEMPORARY FIRE PROTECTION OF THE NORTHEAST EXIT STAIR MUST REMAIN IN PLACE DURING CONSTRUCTION AS IT IS A REQUIRED MEANS OF EGRESS FROM LEVEL TWO OF THE EXISTING MUNICIPAL HALL.

NOTE 1
INSTALL TEMPORARY FIRE PROTECTION OVER NORTHEAST WINDOW ON LEVEL ONE TO PROVIDE THE REQUIRED PROTECTION OF THE MEANS OF EGRESS. THIS TEMPORARY PROTECTION MEASURE MUST REMAIN IN PLACE UNTIL PHASE 2 SCOPE OF WORK IS COMPLETE.

DURING THE REPLACEMENT OF NORTHEAST EXIT STAIR IN PHASE ONE, OCCUPANCY ON LEVEL TWO OF THE EXISTING MUNICIPAL HALL WILL NOT BE PERMITTED UNTIL THE NEW STAIR IS INSTALLED AND REVIEWED BY THE CONSULTANT TEAM.

PHASE 2
RENOVATION TO THE MUNICIPAL HALL TO ADDRESS THE NON-CODE COMPLIANT ITEMS IDENTIFIED IN THE ALTERNATIVE SOLUTIONS CODE REPORT BY PONTEM. REFER TO THE CODE REPORT FOR A DETAILED LIST OF ITEMS TO BE COMPLETED.

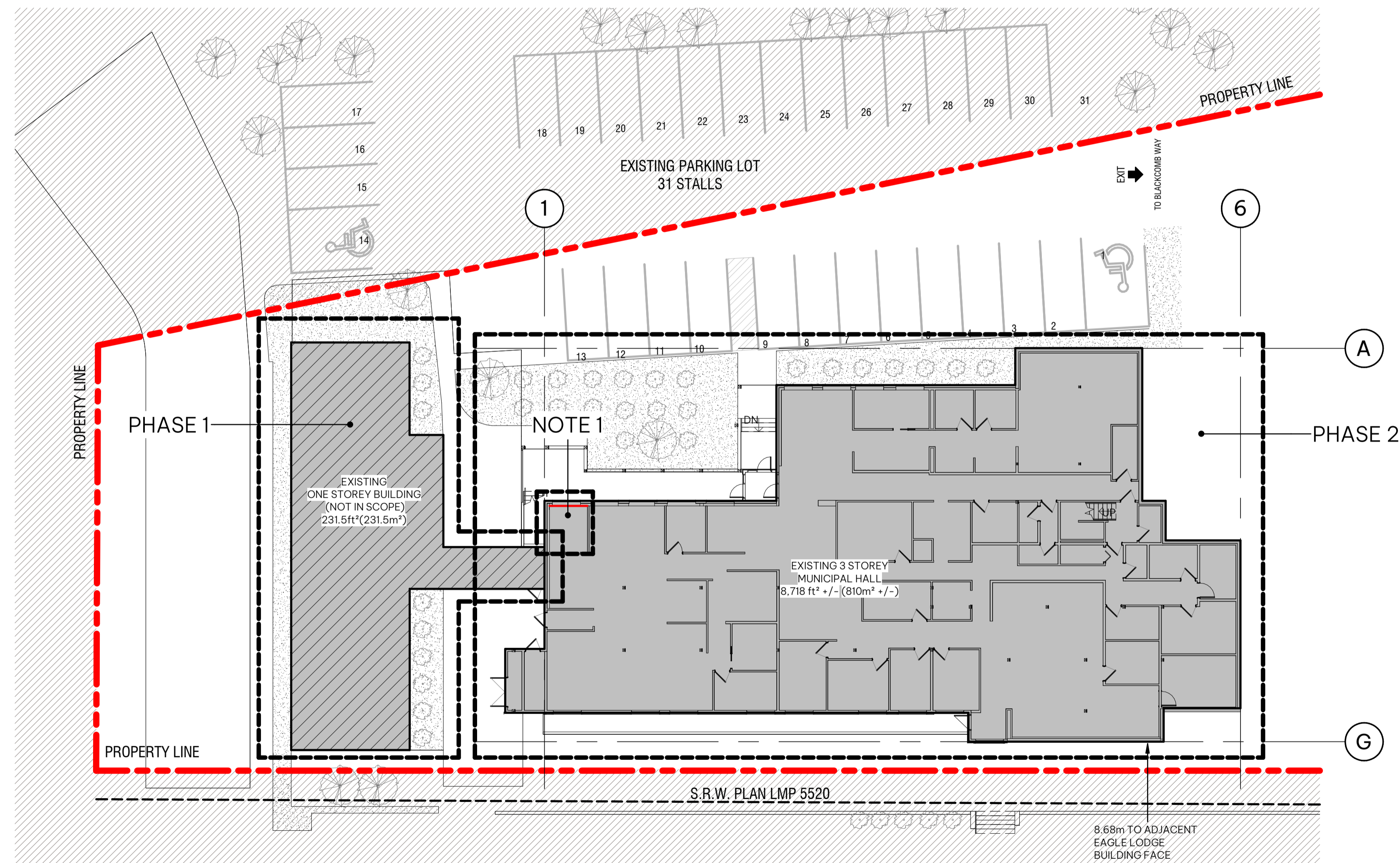
WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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1 PHASING PLAN
A0.03 SCALE: 1:200
A4.01

SEALS

SCALE	As indicated	
DATE	7/29/2024 2:40:33 PM	TRUE NORTH
DRAWN BY	Author	
CHECKED BY	Checker	PROJECT NORTH
PROJECT NO.	5330-02-1026-01	
DRAWING TITLE	PHASING PLAN	

DRAWING NO.
A0.03

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

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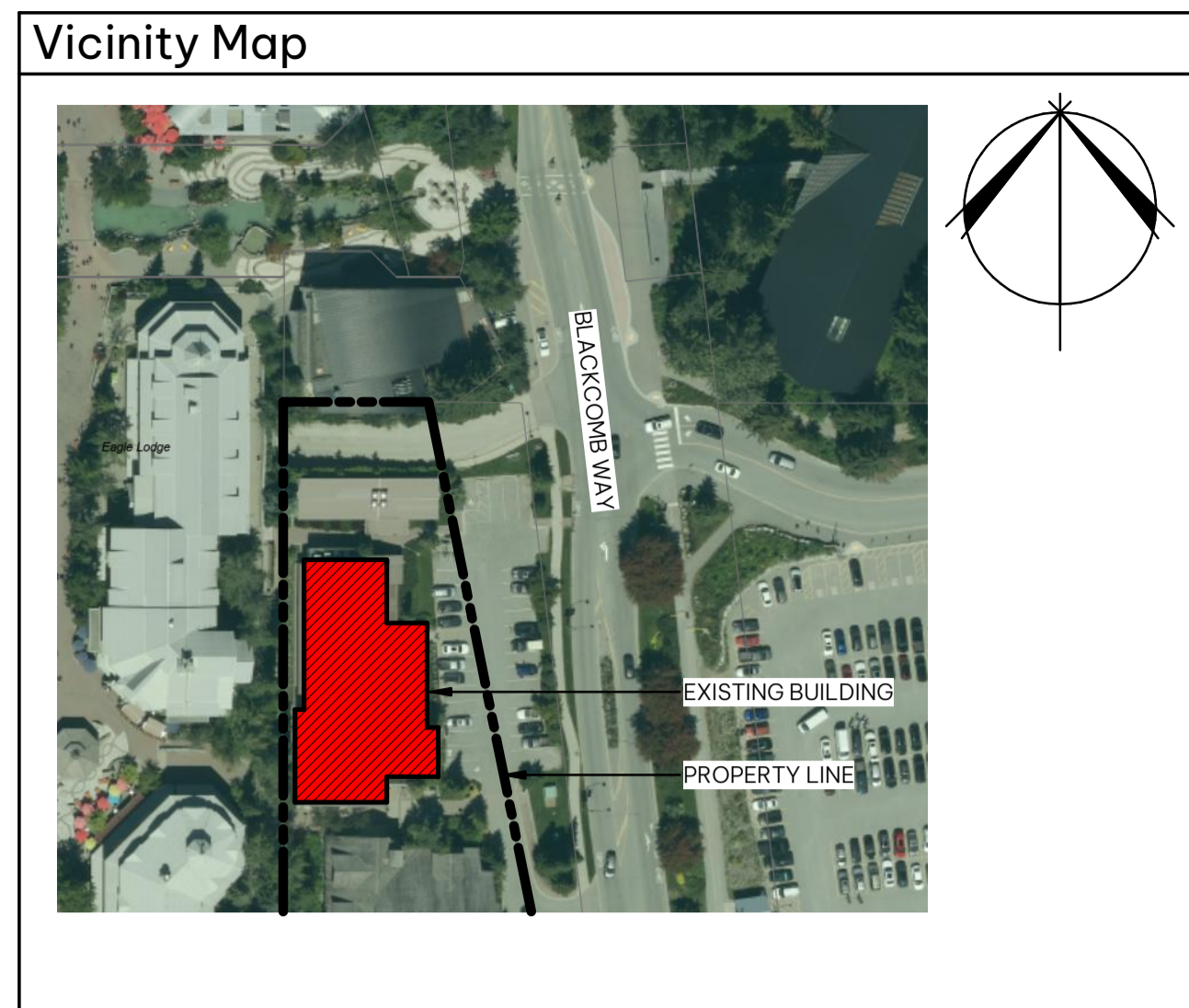
SEALS

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DRAWN BY	GP/IZ	
CHECKED BY	GP	PROJECT NORTH
PROJECT NO.	5330-02-1026-01	
DRAWING TITLE	SITE	

SITE

DRAWING NO.

A1.01



Site - Information	PROJECT DESCRIPTION
MUNICIPAL ADDRESS: 4325 BLACKCOMB WAY WHISTLER, BC, V8E 0X5	The existing structure comprises a three-story municipal building spanning approximately 810 +/- square meters. Currently, the building lacks sprinkler systems and is constructed of combustible materials. The proposed upgrades aim to rectify noncompliant aspects of the building, including spatial separation concerns on the western side, ensuring the protection of egress routes along accessible pathways, complying with fire separation requirements such as glazing, and achieving the necessary fire resistance ratings for walls and the roof structure.
LEGAL ADDRESS: P.I.D. 015-849-546, D.L. 4559, GP. 1, N.W.D	
GROSS SITE AREA: 6,405 m ²	
BUILDING AREA: 810 m ²	
TOTAL FLOOR AREA: 1605 m ² (ABOVE GRADE)	



2 Site Image 1
A1.01 SCALE: 1: 1
A1.01



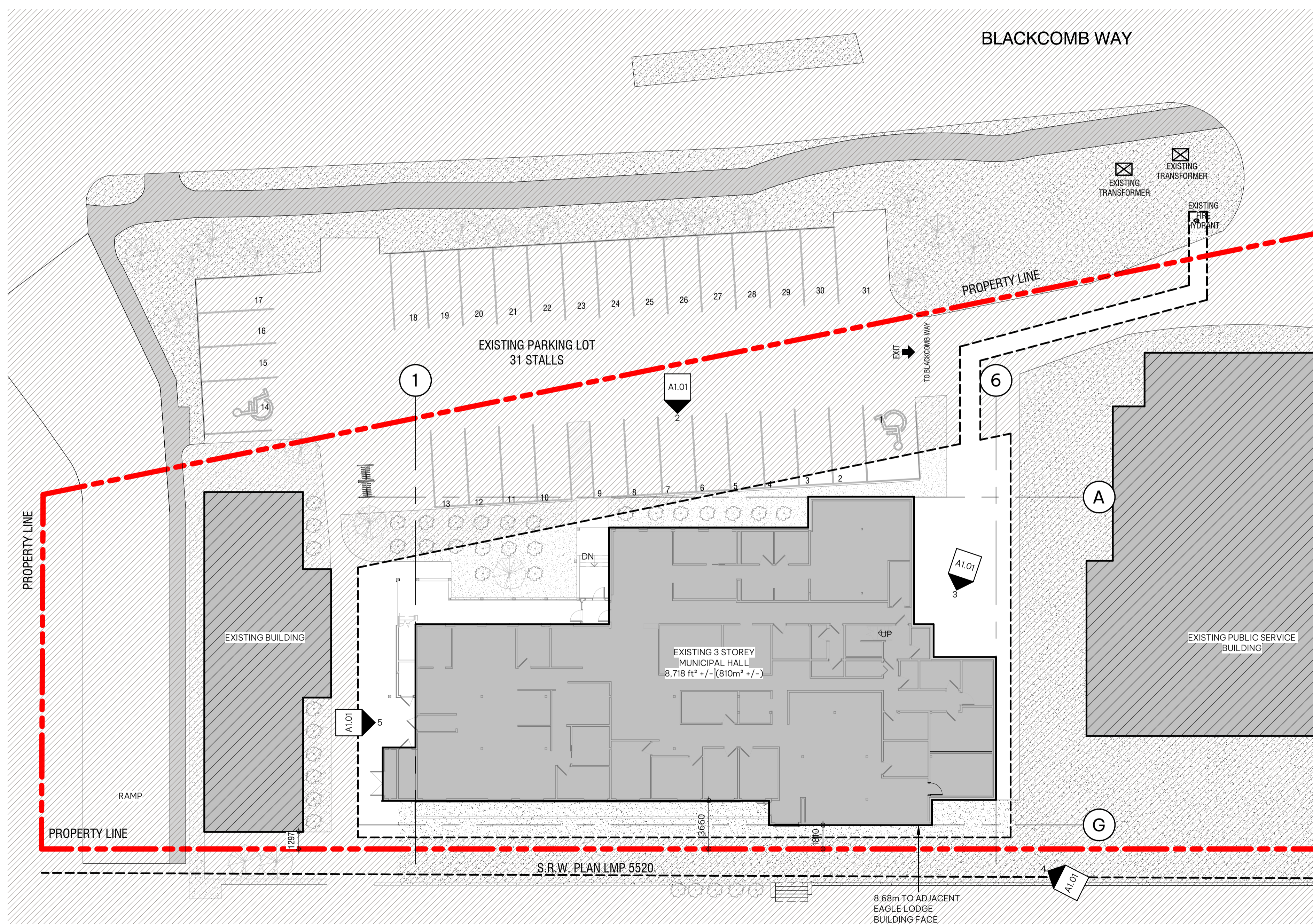
3 Site Image 2
A1.01 SCALE: 1: 1
A1.01



4 Site Image 3
A1.01 SCALE: 1: 1
A1.01



5 Site Image 4
A1.01 SCALE: 1: 1
A1.01



1 SITE PLAN
A1.01 SCALE: 1: 200

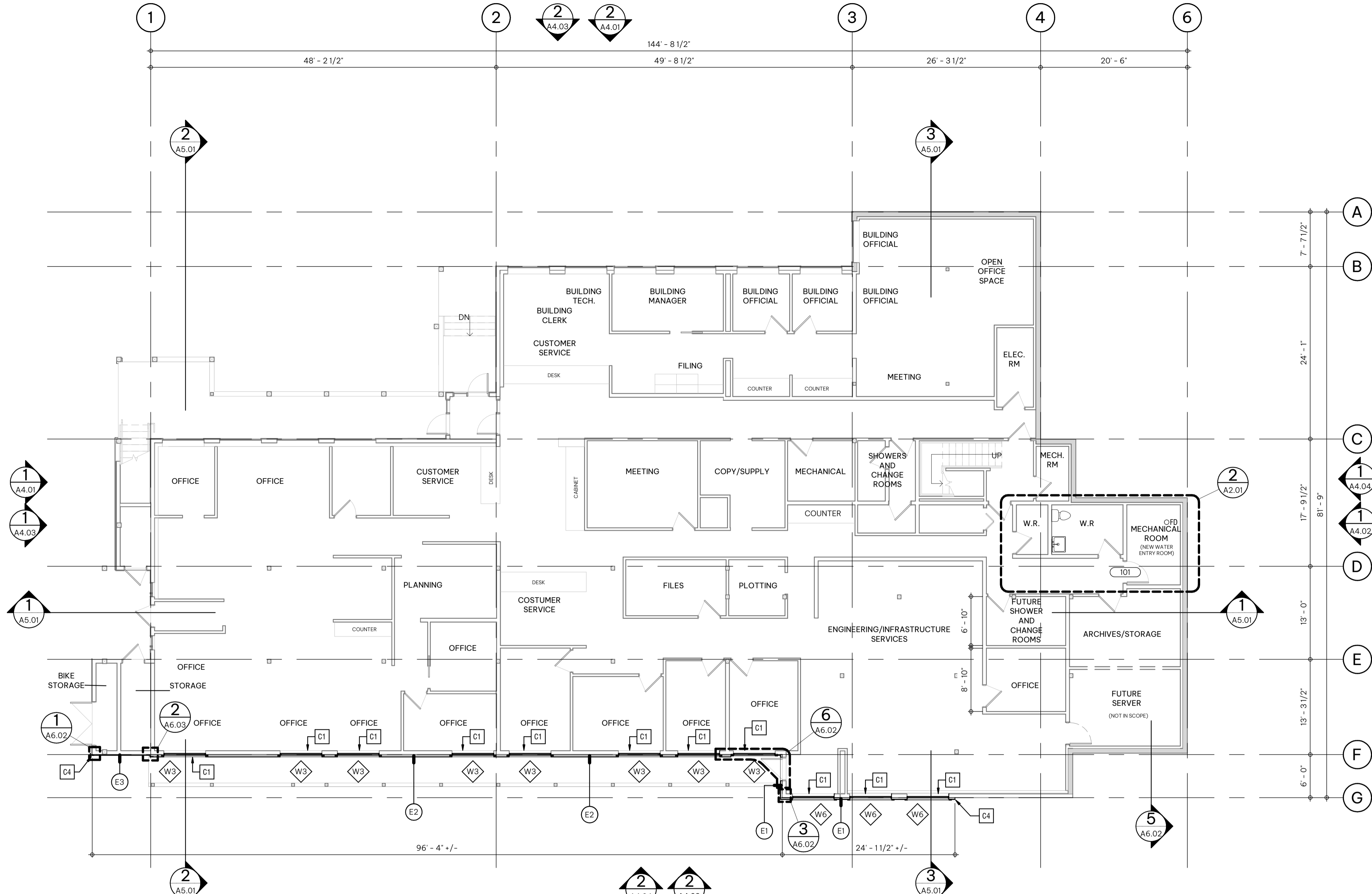
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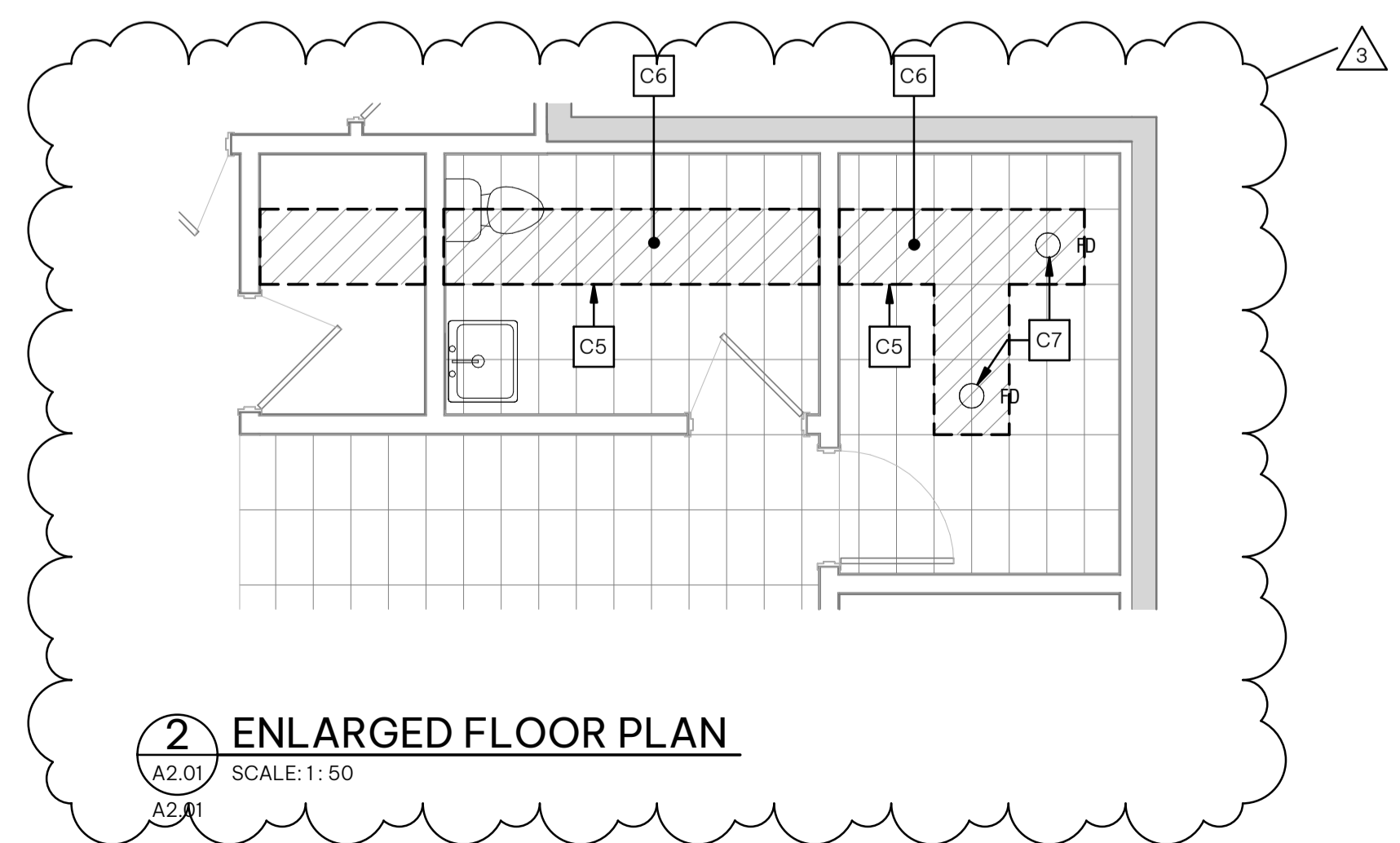
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1 LEVEL 1 CONSTRUCTION PLAN
SCALE: 1:100
A2.01
A4.01



2 ENLARGED FLOOR PLAN
SCALE: 1:50
A2.01
A2.01

- Construction - General Notes**
- WALL ASSEMBLIES SHALL BE CONSTRUCTED IN SEQUENCE AS WRITTEN INITIATED FROM THE SIDE ON WHICH WALL TAG IS LOCATED.
 - ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING UNLESS NOTED OTHERWISE. BRACE AS REQUIRED.
 - PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE OR 100mm ABOVE FIRE RATED CEILING ASSEMBLY AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT.
 - AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED.

- Construction - Symbol Legend**
- INDICATES CAST-IN PLACE CONC. WALL - REFER TO STRUCTURAL DRAWINGS
 - INDICATES CONC. BLOCK WALL OR MASONRY VENEER
 - INDICATES APPROXIMATE LOCATION OF TAPERCUT INSULATION BELOW ROOF INSULATION. SLOPED TO DRAIN. 2% SLOPE MIN. U.N.O.
 - INDICATES DIRECTION OF ROOF SLOPE TO DRAIN
 - INDICATES MECHANICAL PIPING

- Construction - Keynote Legend**
- C1 REMOVE EXISTING WINDOW. PATCH AND REPAIR OPENING TO ACCEPT NEW FRAME AND WINDOW
 - C2 FIRE DEPARTMENT CONNECTION. REFER TO FIRE PROTECTION SPRINKLER SYSTEM
 - C3 COORDINATE SPRINKLER SUPPLY LINE FROM LEVEL 1 TO ENSURE PIPE IS INSTALLED BETWEEN EXISTING WINDOWS.
 - C4 START/END OF NEW EXTERIOR FINISH
 - C5 REMOVE TILE ALONG ROUTE OF NEW 4" DRAIN. PROVIDE PROTECTION FOR ADJACENT TILES
 - C6 GC TO INSTALL NEW FLOOR TILE PROVIDED BY RMOW. DETERMINE PRIOR TO INSTALLTION THAT QUANTATY PROVIDED BY RMOW IS SUFFICIENT
 - C7 PROVIDE A MINIMUM 16" x 16" AREA AROUND DRAIN TO ACCOMADATE A 2% SLOPE. FLOOR DRAIN TO BE INSTALLED LOWER THEN ADJACENT FLOOR.

SEALS

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DATE	7/29/2024 2:40:35 PM	
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DRAWING TITLE	LEVEL 1 FLOOR PLAN	

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A2.01

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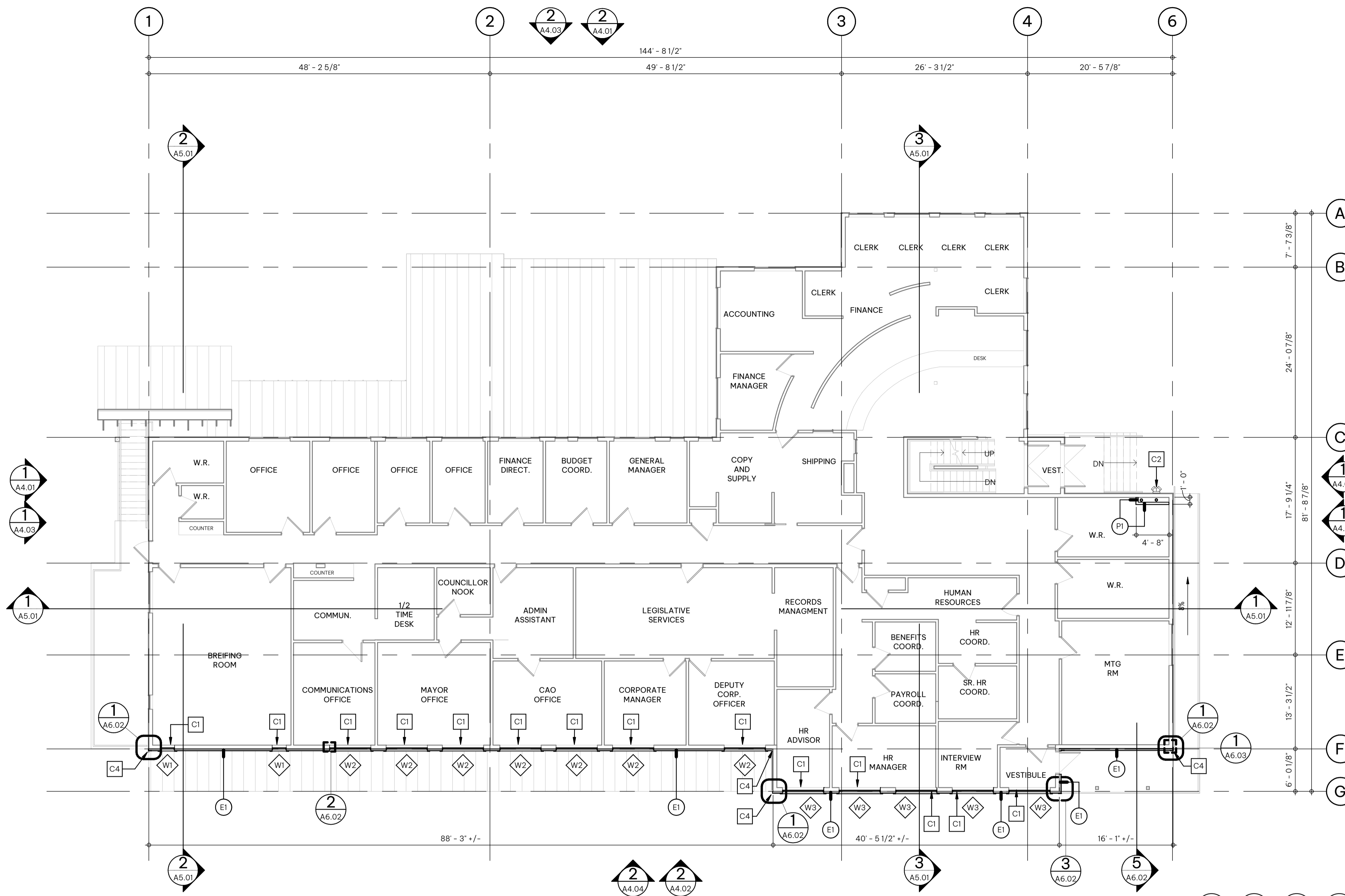
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DRAWING TITLE

LEVEL 2 FLOOR PLAN

DRAWING NO.

A2.02



1 LEVEL 2 CONSTRUCTION PLAN
A2.02 SCALE: 1:100
A4.01

Construction - General Notes

1. WALL ASSEMBLIES SHALL BE CONSTRUCTED IN SEQUENCE AS WRITTEN INITIATED FROM THE SIDE ON WHICH WALL TAG IS LOCATED.
2. ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING UNLESS NOTED OTHERWISE. BRACE AS REQUIRED.
3. PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE OR 100mm ABOVE FIRE RATED CEILING ASSEMBLY AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT.
4. AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED.

Construction - Symbol Legend

- INDICATES CAST-IN PLACE CONC. WALL - REFER TO STRUCTURAL DRAWINGS
- INDICATES CONC. BLOCK WALL OR MASONRY VENEER
- INDICATES APPROXIMATE LOCATION OF TAPER CUT INSULATION BELOW ROOF INSULATION. SLOPED TO DRAIN. 2% SLOPE MIN. U.N.O.
- INDICATES DIRECTION OF ROOF SLOPE TO DRAIN
- INDICATES MECHANICAL PIPING

Construction - Keynote Legend

- C1 REMOVE EXISTING WINDOW. PATCH AND REPAIR OPENING TO ACCEPT NEW FRAME AND WINDOW
- C2 FIRE DEPARTMENT CONNECTION. REFER TO FIRE PROTECTION SPRINKLER SYSTEM
- C3 COORDINATE SPRINKLER SUPPLY LINE FROM LEVEL 1 TO ENSURE PIPE IS INSTALLED BETWEEN EXISTING WINDOWS.
- C4 START/END OF NEW EXTERIOR FINISH
- C5 REMOVE TILE ALONG ROUTE OF NEW 4" DRAIN. PROVIDE PROTECTION FOR ADJACENT TILES
- C6 GC TO INSTALL NEW FLOOR TILE PROVIDED BY RMOW. DETERMINE PRIOR TO INSTALLATION THAT QUANTITY PROVIDED BY RMOW IS SUFFICIENT
- C7 PROVIDE A MINIMUM 16" x 16" AREA AROUND DRAIN TO ACCOMMODATE A 2% SLOPE. FLOOR DRAIN TO BE INSTALLED LOWER THEN ADJACENT FLOOR.

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

NOTE

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ISSUED	DATE
ISSUED FOR BP	2024.05.06
ISSUED FOR IFT/IFC	2024.07.02
Addendum #01	2024.07.29

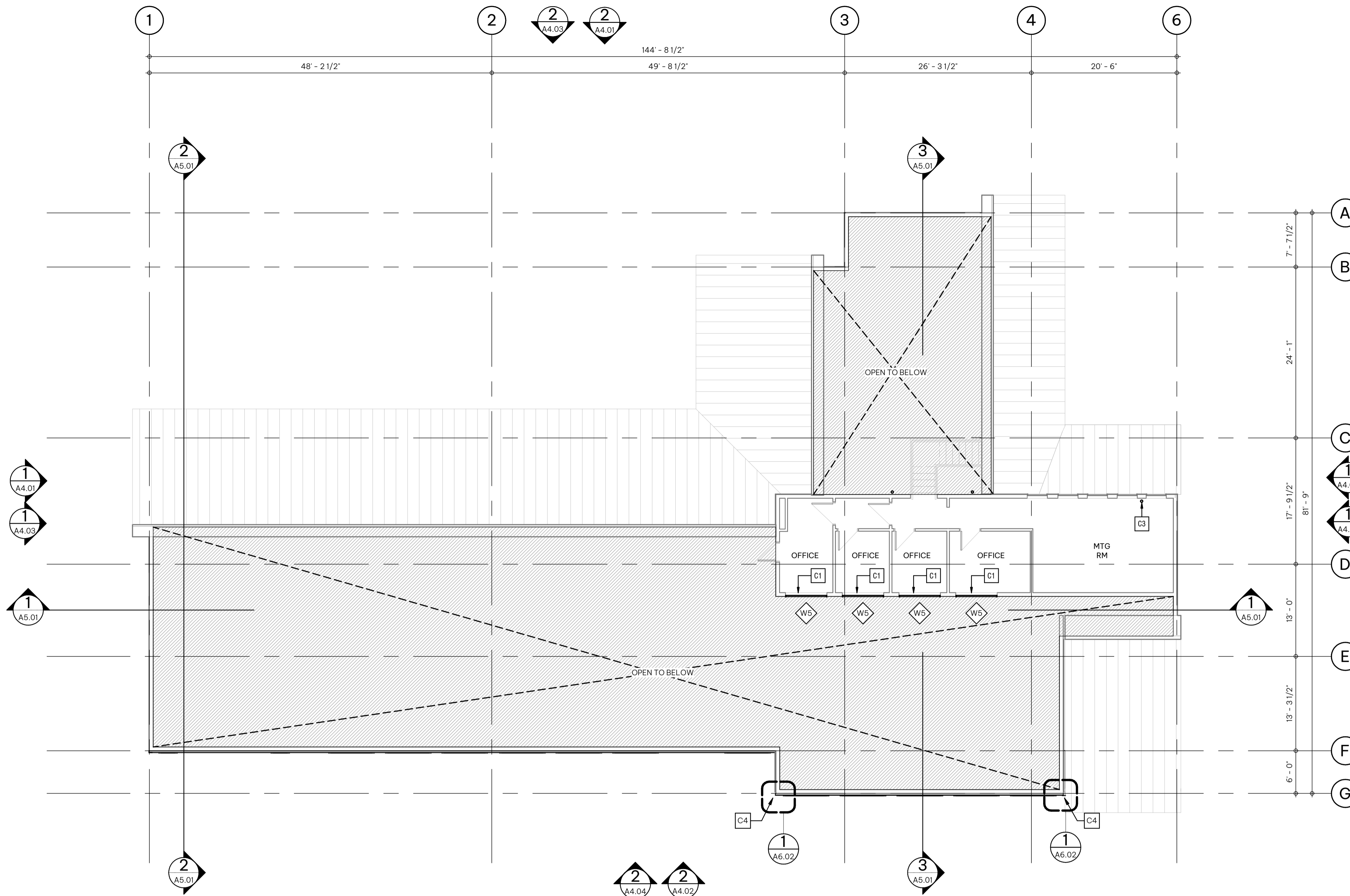
SEALS

SCALE	As indicated	
DATE	7/29/2024 2:40:35 PM	
DRAWN BY	GP/IZ	
CHECKED BY	GP	
PROJECT NO.	5330-02-1026-01	

LEVEL 3 FLOOR PLAN

DRAWING NO.

A2.03



1 LEVEL 3 CONSTRUCTION PLAN

A2.03 SCALE: 1:100
A4.01

Construction - General Notes

- WALL ASSEMBLIES SHALL BE CONSTRUCTED IN SEQUENCE AS WRITTEN INITIATED FROM THE SIDE ON WHICH WALL TAG IS LOCATED.
- ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING UNLESS NOTED OTHERWISE. BRACE AS REQUIRED.
- PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE OR 100mm ABOVE FIRE RATED CEILING ASSEMBLY AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT.
- AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED.

Construction - Symbol Legend

- INDICATES CAST-IN PLACE CONC. WALL - REFER TO STRUCTURAL DRAWINGS
- INDICATES CONC. BLOCK WALL OR MASONRY VENEER
- INDICATES APPROXIMATE LOCATION OF TAPERCUT INSULATION BELOW ROOF INSULATION. SLOPED TO DRAIN. 2% SLOPE MIN. U.N.O.
- INDICATES DIRECTION OF ROOF SLOPE TO DRAIN
- INDICATES MECHANICAL PIPING

Construction - Keynote Legend

- C1** REMOVE EXISTING WINDOW. PATCH AND REPAIR OPENING TO ACCEPT NEW FRAME AND WINDOW
- C2** FIRE DEPARTMENT CONNECTION. REFER TO FIRE PROTECTION SPRINKLER SYSTEM
- C3** COORDINATE SPRINKLER SUPPLY LINE FROM LEVEL 1 TO ENSURE PIPE IS INSTALLED BETWEEN EXISTING WINDOWS.
- C4** START/END OF NEW EXTERIOR FINISH
- C5** REMOVE TILE ALONG ROUTE OF NEW 4" DRAIN. PROVIDE PROTECTION FOR ADJACENT TILES
- C6** GC TO INSTALL NEW FLOOR TILE PROVIDED BY RMOW. DETERMINE PRIOR TO INSTALLTION THAT QUANTATY PROVIDED BY RMOW IS SUFFICIENT
- C7** PROVIDE A MINIMUM 16' x 16' AREA AROUND DRAIN TO ACCOMADATE A 2% SLOPE. FLOOR DRAIN TO BE INSTALLED LOWER THEN ADJACENT FLOOR.

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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ISSUED FOR BP	2024.05.06
ISSUED FOR IFT/FC	2024.07.02
Addendum #01	2024.07.29



1 LEVEL 1 CONSTRUCTION CEILING PLAN
A3.01 SCALE: 1:100
A4.01

Reflected Ceiling Plan - General Notes

- ALL CEILING DIMENSIONS ARE TO FACE OF STUD OR BLOCK U.N.O.
- ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING U.N.O. BRACE AS REQUIRED
- PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE OR 100mm ABOVE FIRE RATED CEILING ASSEMBLY AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT
- AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED

Reflected Plan - Symbol Legend

- EXISTING ACOUSTIC CEILING PANELS IN T-BAR SUSPENSION SYSTEM
- EXISTING GYPSUM CEILING ON FURRING AND C-CHANNEL SYSTEM
- INDICATES NO CEILING IN SPACE. OPEN TO FLOOR/ROOF JOISTS ABOVE
- INDICATES SPRINKLER HEAD LOCATIONS. CONTRACTOR TO VERIFY LOCATION PRIOR TO INSTALLATION. ANY CONFLICTS WITH EXISTING FIXTURES TO BE COORDINATED WITH CONSULTANTS AND CLIENT.
- INDICATES SPRINKLER HEAD DROP LOCATIONS FOR LEVEL 2

Reflected Ceiling Plan - Code Legend

- DASHED LINE INDICATES EXTENT OF CEILING DEMOLITION. PATCH AND REPAIR CEILING ONCE SPRINKLER INSTALLATION IS COMPLETED. PAINT TO MATCH EXISTING COLOUR
- R1 SPRINKLER LOCATIONS TO BE DROPPED INTO ROOM FROM SPACE ABOVE CEILING

SEALS

SCALE	As indicated
DATE	7/29/2024 2:40:36 PM
DRAWN BY	GP/IZ
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PROJECT NO.	5330-02-1026-01
DRAWING TITLE	LEVEL 1 RCP

DRAWING NO.

A3.01

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

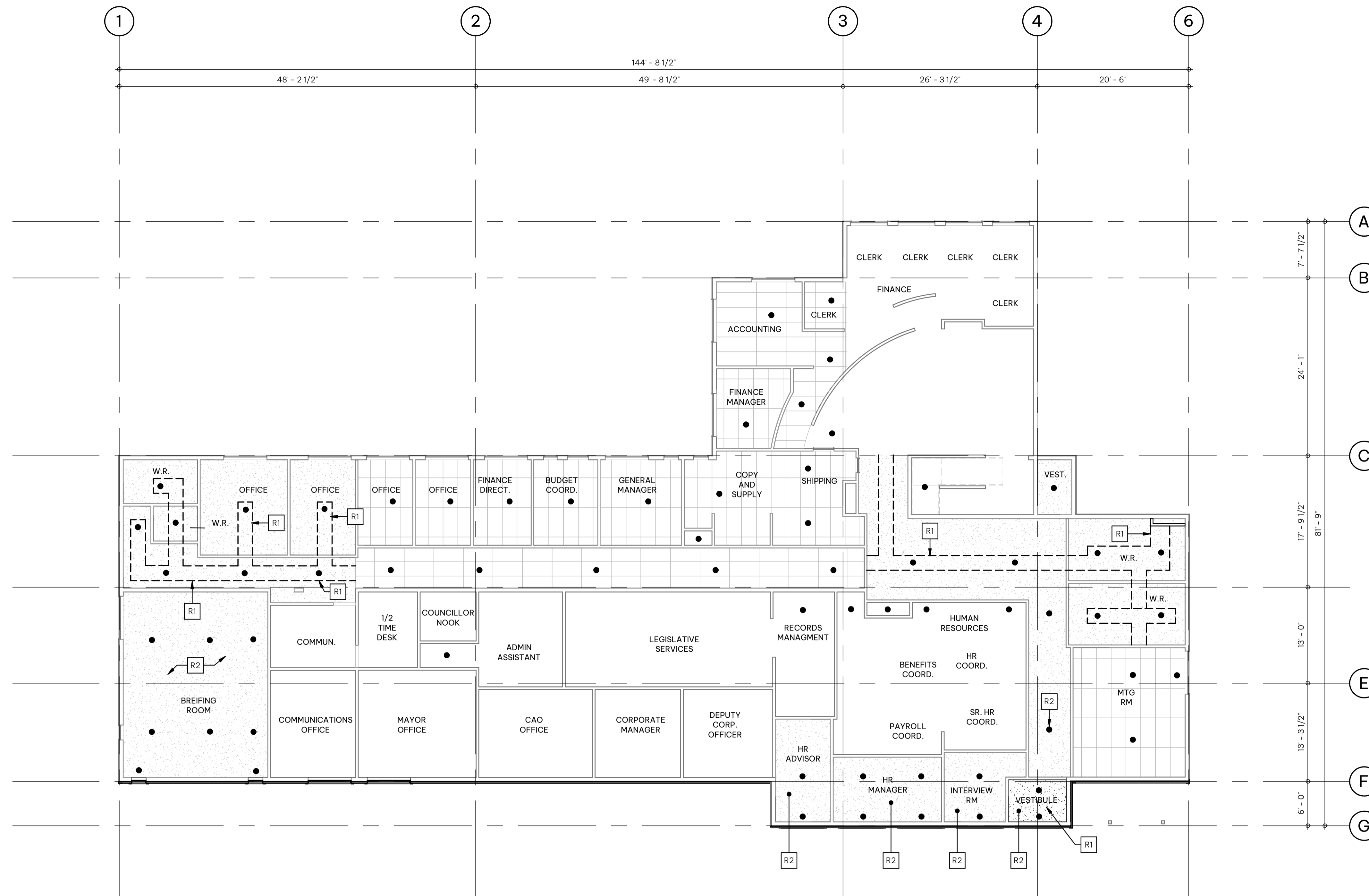
4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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ISSUED FOR IFT/IFC	2024.07.02
Addendum #01	2024.07.29



1 LEVEL 2 CONSTRUCTION CEILING PLAN
A3.02 SCALE: 1:100
A4.01

Reflected Ceiling Plan - General Notes

- ALL CEILING DIMENSIONS ARE TO FACE OF STUD OR BLOCK U.N.O.
- ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING U.N.O. BRACE AS REQUIRED
- PARTITIONS WHICH ARE FIRE SEPARATIONS SHALL EXTEND TO U/S OF STRUCTURE OR 100mm ABOVE FIRE RATED CEILING ASSEMBLY AND ARE TO FORM A SMOKE TIGHT JOINT AT TERMINATION. PROVIDE DEFLECTION JOINT
- AT ALL FIRE SEPARATIONS ANY PENETRATIONS OR OPENINGS MUST BE SEALED WITH APPROVED FIRE STOPPING MATERIAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE INTEGRITY OF THE FIRE RATED ASSEMBLY IS MAINTAINED

Reflected Plan - Symbol Legend

- EXISTING ACOUSTIC CEILING PANELS IN T-BAR SUSPENSION SYSTEM
- EXISTING GYPSUM CEILING ON FURRING AND C-CHANNEL SYSTEM
- INDICATES NO CEILING IN SPACE. OPEN TO FLOOR/ROOF JOISTS ABOVE
- INDICATES SPRINKLER HEAD LOCATIONS. CONTRACTOR TO VERIFY LOCATION PRIOR TO INSTALLATION. ANY CONFLICTS WITH EXISTING FIXTURES TO BE COORDINATED WITH CONSULTANTS AND CLIENT.
- INDICATES SPRINKLER HEAD DROP LOCATIONS FOR LEVEL 2

Reflected Ceiling Plan - Code Legend

- DASHED LINE INDICATES EXTENT OF CEILING DEMOLITION. PATCH AND REPAIR CEILING ONCE SPRINKLER INSTALLATION IS COMPLETED. PAINT TO MATCH EXISTING COLOUR
- R1 SPRINKLER LOCATIONS TO BE DROPPED INTO ROOM FROM SPACE ABOVE CEILING

SEALS

SCALE	As indicated
DATE	7/29/2024 2:40:37 PM
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CHECKED BY	GP
PROJECT NO.	5330-02-1026-01
DRAWING TITLE	LEVEL 2 RCP
DRAWING NO.	

A3.02

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

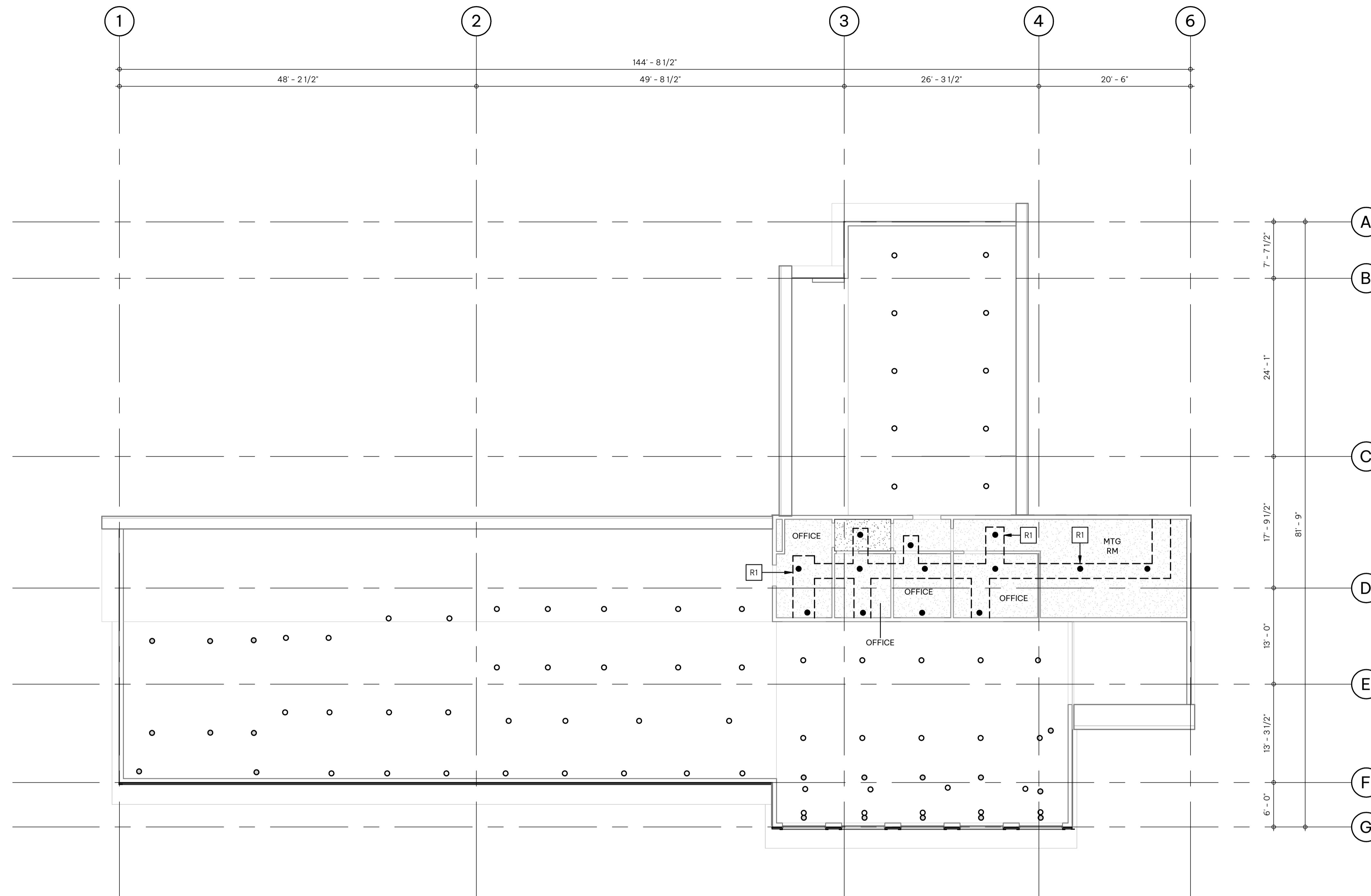
4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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Addendum #01	2024.07.29



1 LEVEL 3 CONSTRUCTION CEILING PLAN

A3.03 SCALE: 1:100
A4.01

Reflected Ceiling Plan - General Notes

- ALL CEILING DIMENSIONS ARE TO FACE OF STUD OR BLOCK U.N.O.
- ALL INTERIOR PARTITIONS ARE TO EXTEND TO 100mm ABOVE FINISHED CEILING U.N.O. BRACE AS REQUIRED
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Reflected Plan - Symbol Legend

- EXISTING ACOUSTIC CEILING PANELS IN T-BAR SUSPENSION SYSTEM
- EXISTING GYPSUM CEILING ON FURRING AND C-CHANNEL SYSTEM
- INDICATES NO CEILING IN SPACE. OPEN TO FLOOR/ROOF JOISTS ABOVE
- INDICATES SPRINKLER HEAD LOCATIONS. CONTRACTOR TO VERIFY LOCATION PRIOR TO INSTALLATION. ANY CONFLICTS WITH EXISTING FIXTURES TO BE COORDINATED WITH CONSULTANTS AND CLIENT.
- INDICATES SPRINKLER HEAD DROP LOCATIONS FOR LEVEL 2

Reflected Ceiling Plan - Code Legend

- R1 DASHED LINE INDICATES EXTENT OF CEILING DEMOLITION. PATCH AND REPAIR CEILING ONCE SPRINKLER INSTALLATION IS COMPLETED. PAINT TO MATCH EXISTING COLOUR
- R2 SPRINKLER LOCATIONS TO BE DROPPED INTO ROOM FROM SPACE ABOVE CEILING

SEALS

SCALE As indicated

DATE 7/29/2024 2:40:37 PM

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CHECKED BY Checker

PROJECT NO. 5330-02-1026-01

DRAWING TITLE

LEVEL 3 RCP

DRAWING NO.

A3.03

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

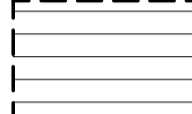
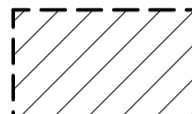
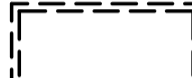
4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler



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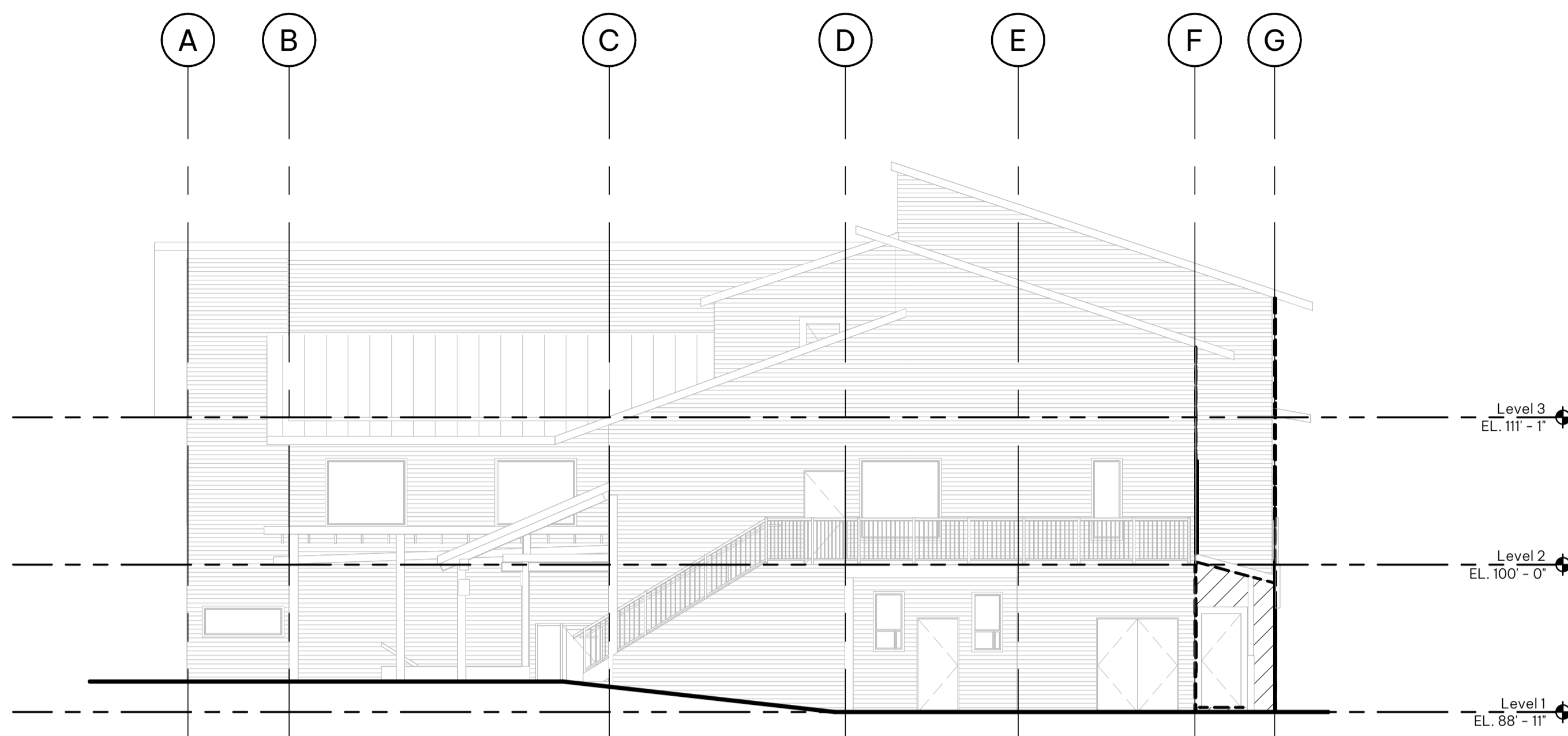
1. CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO DEMOLITION AND REPORT ANY DISCREPANCY WITH THE CONTRACT TO THE CONSULTANTS
2. DETERMINE THE EXTENT OF DEMOLITION AND PROVIDE THE NECESSARY PROTECTION TO ADJACENT SURFACES NOT AFFECTED BY THIS CONTRACT
3. CONTRACTOR IS RESPONSIBLE TO REMOVE AND SAFELY STORE ITEMS IDENTIFIED TO BE SALVAGED FOR RE-INSTALLATION
4. CONTRACTOR TO COORDINATE ALL FLOOR SLAB REMOVAL EXTENTS WITH STRUCTURAL AND MECHANICAL DRAWINGS TO ENSURE ADEQUATE REMOVAL IS PROVIDED TO INSTALL NEW UNDER SLAB COMPONENTS
5. COORDINATE ALL DEMOLITION WITH PROPOSED NEW CONSTRUCTION IN CONSTRUCTION DOCUMENTS FOR EXTENT
6. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION
7. GENERAL CONTRACTOR TO VERIFY EXTERIOR SHEATHING IS IN GOOD CONDITION PRIOR TO INSTALLATION OF NEW WALL FINISH. PATCH AND REPAIR SMALL AREAS. FOR LARGE AREAS COORDINATE WITH ARCHITECTURAL PROFESSIONAL PRIOR TO REMOVAL.

Demolition - Symbol Legend

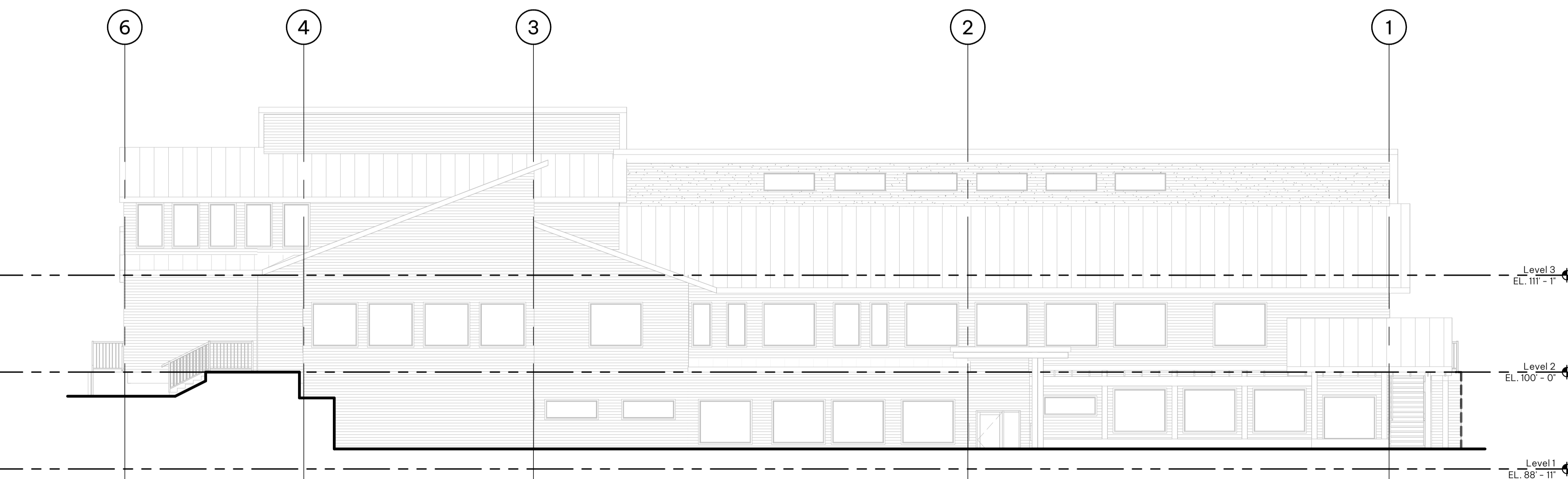
-  EXISTING EXTERIOR FINISH TO REMAIN
-  INDICATES EXISTING EXTERIOR FINISH TO BE REMOVED BACK TO SHEATHING
-  INDICATES EXISTING WINDOWS TO BE REMOVED

Demolition - Keynote Legend

-  EXISTING EXTERIOR WINDOW TRIM TO BE REMOVED
-  EXISTING WINDOW TO REMAIN



1 North Elevation Demolition
A4.01 SCALE: 1:100
A2.01



2 East Elevation Demolition
A4.01 SCALE: 1:100
A2.01

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ISSUED	DATE
ISSUED FOR BP	2024.05.06
ISSUED FOR IFT/IFC	2024.07.02
Addendum #01	2024.07.29

SEALS

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DATE	7/29/2024 2:40:38 PM	
DRAWN BY	Author	TRUE NORTH
CHECKED BY	Checker	
PROJECT NO.	5330-02-1026-01	PROJECT NORTH
DRAWING TITLE	BUILDING DEMOLITION ELEVATIONS	
DRAWING NO.	A4.01	

BUILDING DEMOLITION ELEVATIONS

DRAWING NO.

A4.01

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

Demolition - General Notes

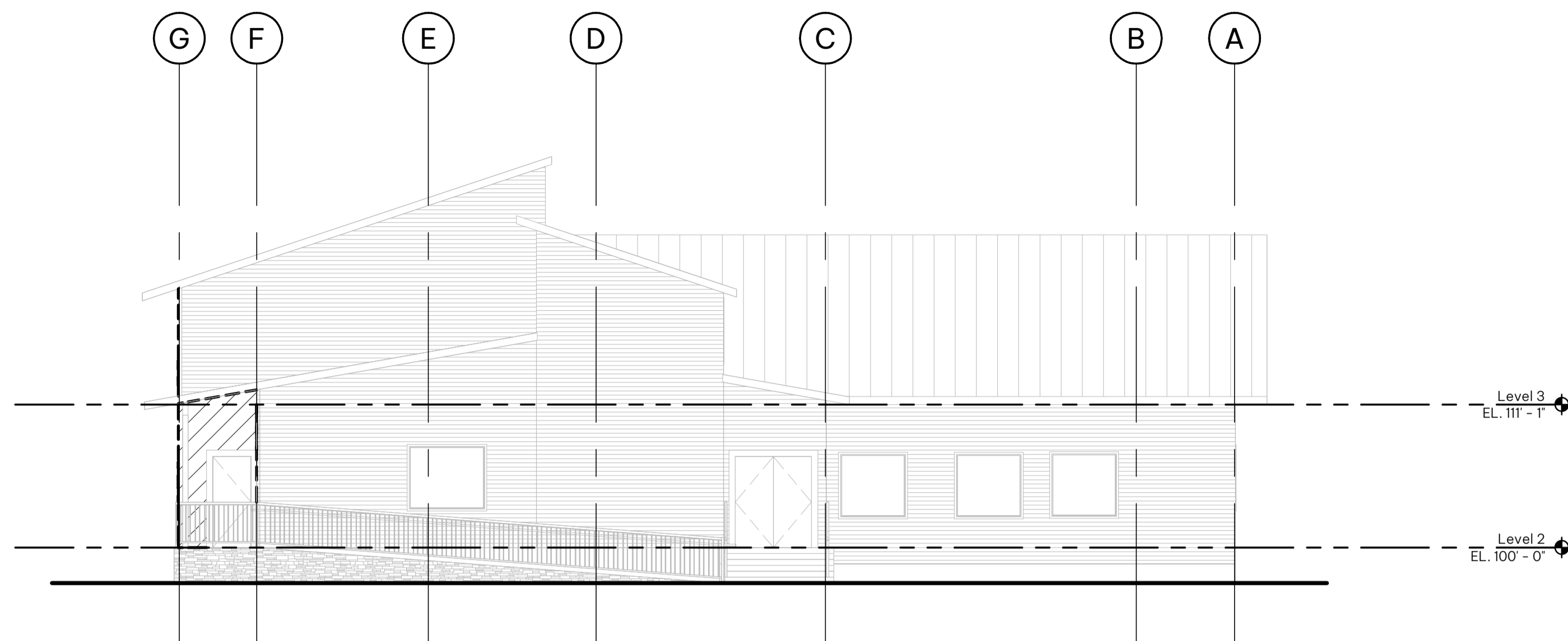
1. CONTRACTOR TO VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO DEMOLITION AND REPORT ANY DISCREPANCY WITH THE CONTRACT TO THE CONSULTANTS
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Demolition - Symbol Legend

- [Horizontal lines symbol] EXISTING EXTERIOR FINISH TO REMAIN
- [Diagonal lines symbol] INDICATES EXISTING EXTERIOR FINISH TO BE REMOVED BACK TO SHEATHING
- [Dashed box symbol] INDICATES EXISTING WINDOWS TO BE REMOVED

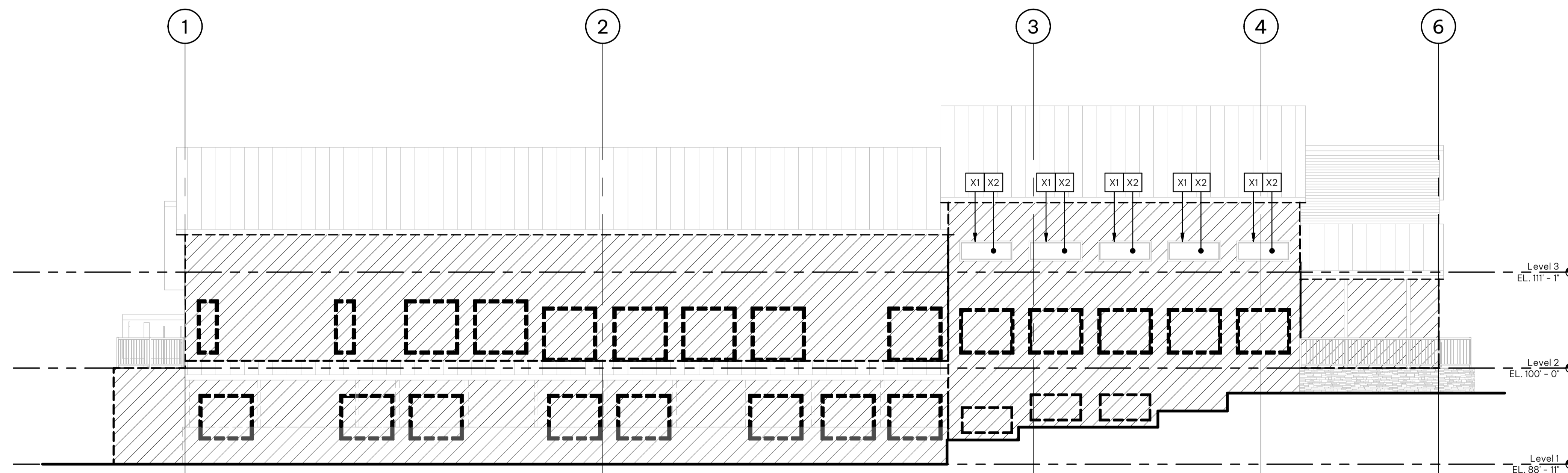
Demolition - Keynote Legend

- [X1 symbol] EXISTING EXTERIOR WINDOW TRIM TO BE REMOVED
- [X2 symbol] EXISTING WINDOW TO REMAIN



1 South Elevation Demolition

A4.02 SCALE: 1:100
A2.01



2 West Elevation Demolition

A4.02 SCALE: 1:100
A2.01

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ISSUED FOR IFT/IFC	2024.07.02
Addendum #01	2024.07.29

SEALS

SCALE As indicated

DATE 7/29/2024 2:40:38 PM

DRAWN BY Author PROJECT NORTH

CHECKED BY Checker

PROJECT NO. 5330-02-1026-01 PROJECT NORTH

DRAWING TITLE

BUILDING DEMOLITION ELEVATIONS

DRAWING NO.

A4.02

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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SEALS

SCALE As indicated

DATE 7/29/2024 2:40:39 PM

DRAWN BY Author TRUE NORTH

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PROJECT NO. 5330-02-1026-01 PROJECT NORTH

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NO.

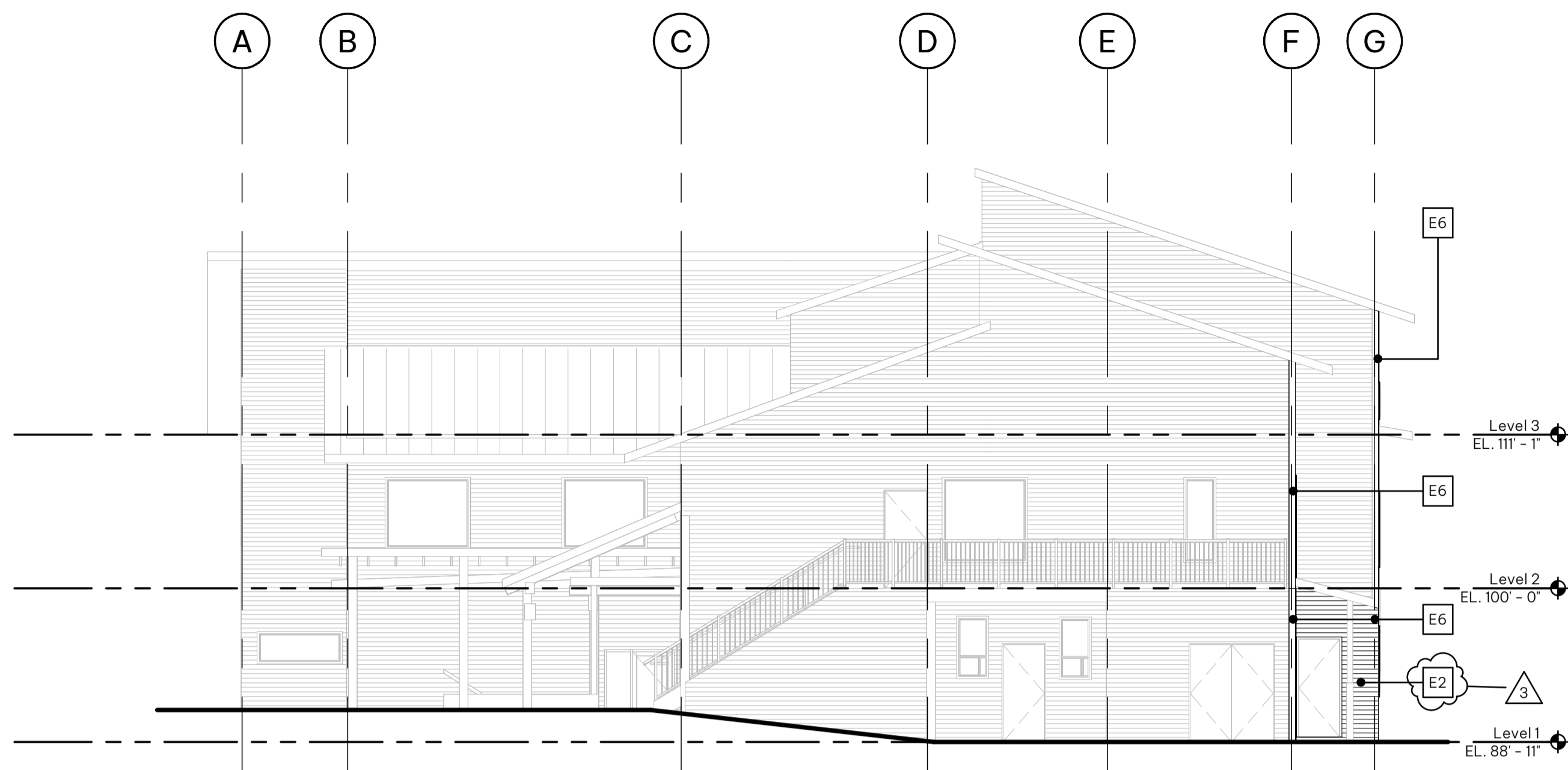
A4.03

Exterior Elevation - General Notes

1. ALL FLASHINGS/CLOSURES TO MATCH ADJACENT MATERIALS U.N.O.
2. NEW 5 1/2" WINDOW TRIMS TO MATCH EXISTING COLORS

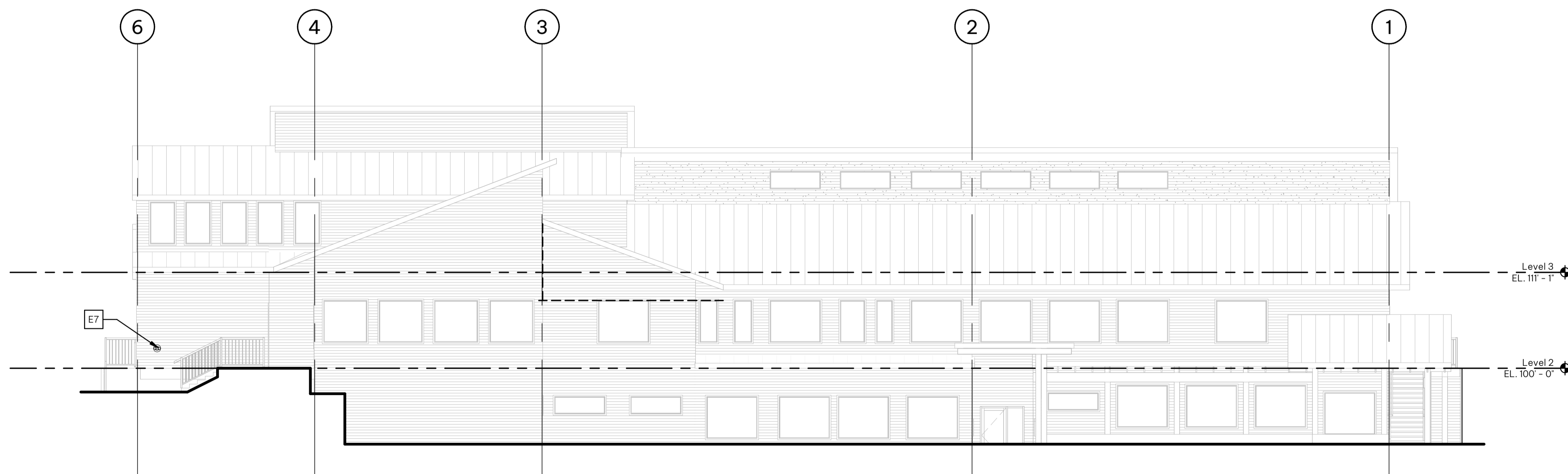
Exterior Elevation - Code Legend

- E1** HORIZONTAL FIBRE CEMENT BOARD SIDING
BASIS OF DESIGN: 6" HORIZONTAL LAP SIDING
COLOUR: BEIGE (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E2** CEMENT BOARD SIDING GREEN
BASIS OF DESIGN: 6" HORIZONTAL LAP SIDING
COLOUR: GREEN (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E3** ALUMINUM FRAME WINDOWS SYSTEM
BASIS OF DESIGN: AA 6500 FIXED 5" WINDOW
COLOUR: DARK BRONZE (COLOUR TO MATCH EXISTING)
MANUFACTURER: KAWNEER
- E4** EXISTING CONCRETE WALL TO REMAIN
- E5** EXISTING WOOD POSTS TO REMAIN
- E6** VERTICAL FIBRE CEMENT BOARD TRIM
BASIS OF DESIGN: 4/4 RUSTIC TRIM BOARD 5 1/2" WIDE
COLOUR: COBBLE STONE (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E7** NEW FIRE DEPARTMENT CONNECTION



1 North Elevation

A4.03 SCALE: 1:100
A2.01



2 East Elevation

A4.03 SCALE: 1:100
A2.01

Exterior Elevation - General Notes

1. ALL FLASHINGS/CLOSURES TO MATCH ADJACENT MATERIALS U.N.O.
2. NEW 5 1/2" WINDOW TRIMS TO MATCH EXISTING COLORS

Exterior Elevation - Code Legend

- E1 HORIZONTAL FIBRE CEMENT BOARD SIDING
BASIS OF DESIGN: 6" HORIZONTAL LAP SIDING
COLOUR: BEIGE (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E2 CEMENT BOARD SIDING GREEN
BASIS OF DESIGN: 6" HORIZONTAL LAP SIDING
COLOUR: GREEN (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E3 ALUMINUM FRAME WINDOWS SYSTEM
BASIS OF DESIGN: AA 6500 FIXED 5" WINDOW
COLOUR: DARK BRONZE (COLOUR TO MATCH EXISTING)
MANUFACTURER: KAWNEER
- E4 EXISTING CONCRETE WALL TO REMAIN
- E5 EXISTING WOOD POSTS TO REMAIN
- E6 VERTICAL FIBRE CEMENT BOARD TRIM
BASIS OF DESIGN: 4/4 RUSTIC TRIM BOARD 5 1/2" WIDE
COLOUR: COBBLE STONE (COLOUR TO MATCH EXISTING)
MANUFACTURER: JAMES HARDIE
- E7 NEW FIRE DEPARTMENT CONNECTION

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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Addendum #01	2024.07.29

SEALS

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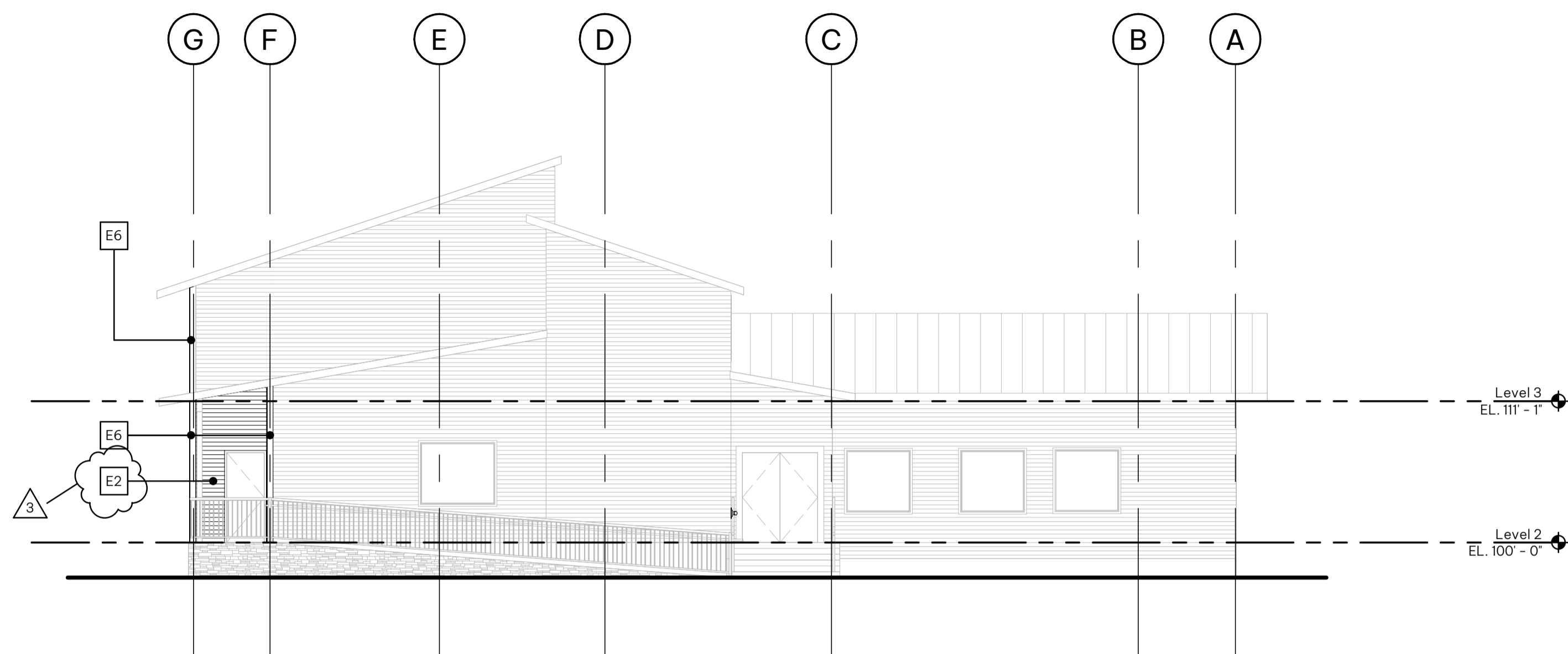
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BUILDING ELEVATIONS

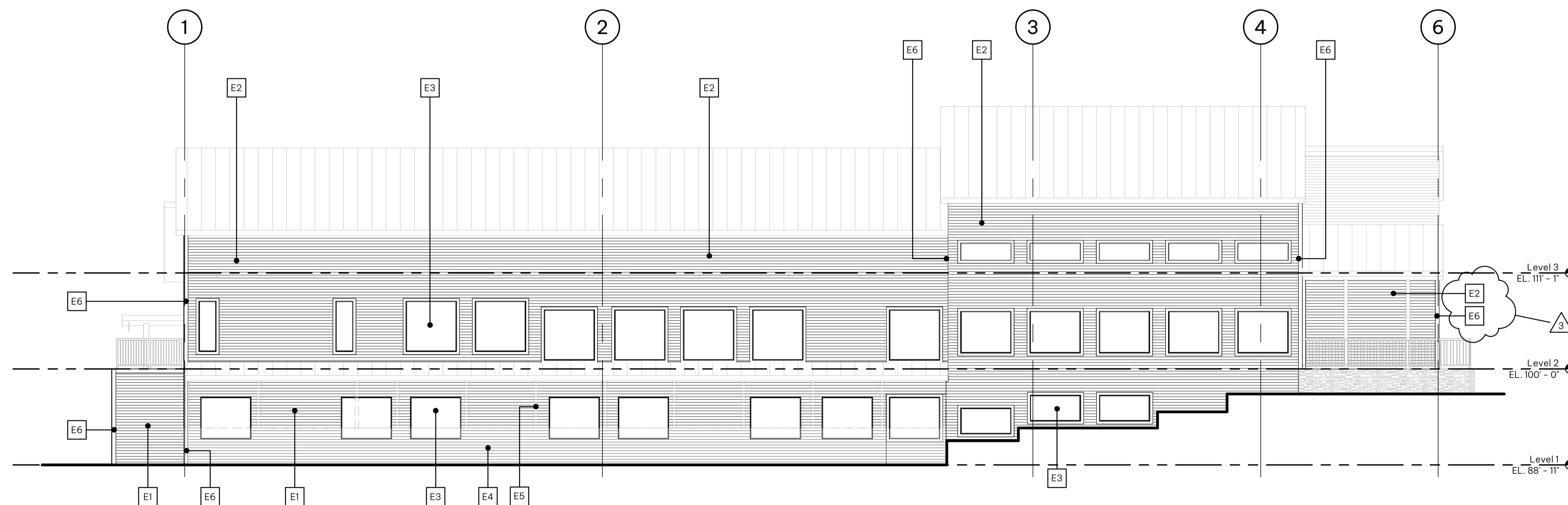
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A4.04



1 South Elevation

A4.04 SCALE: 1:100
A2.01



2 West Elevation

A4.04 SCALE: 1:100
A2.01

WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

NOTE

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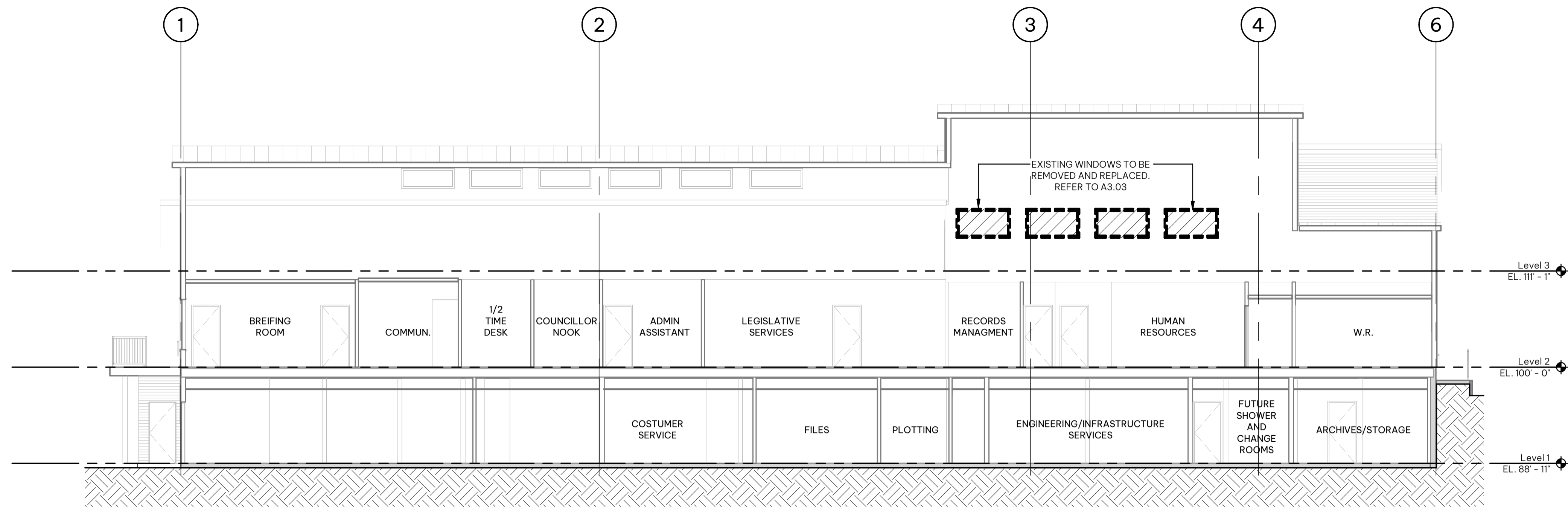
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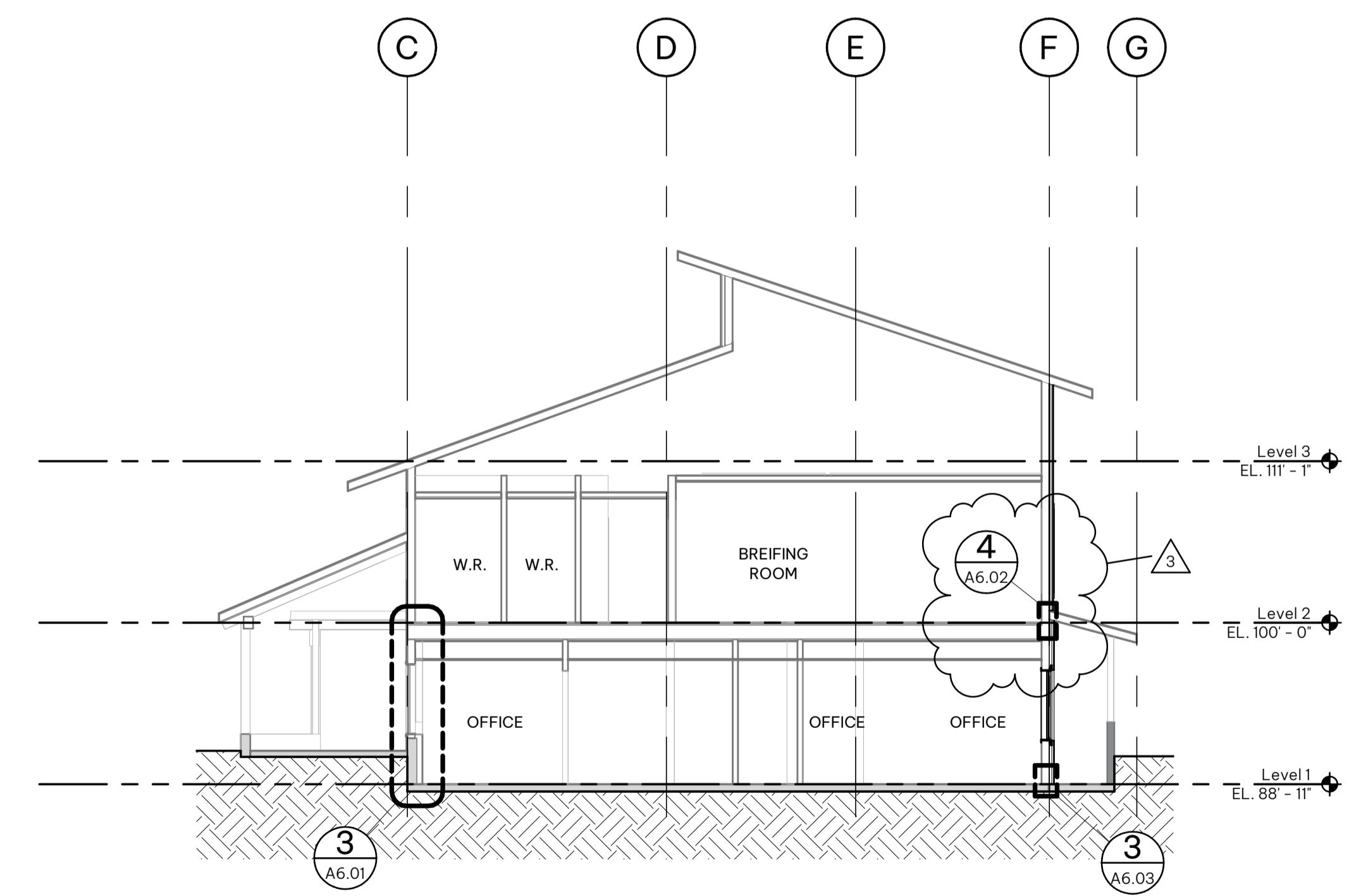
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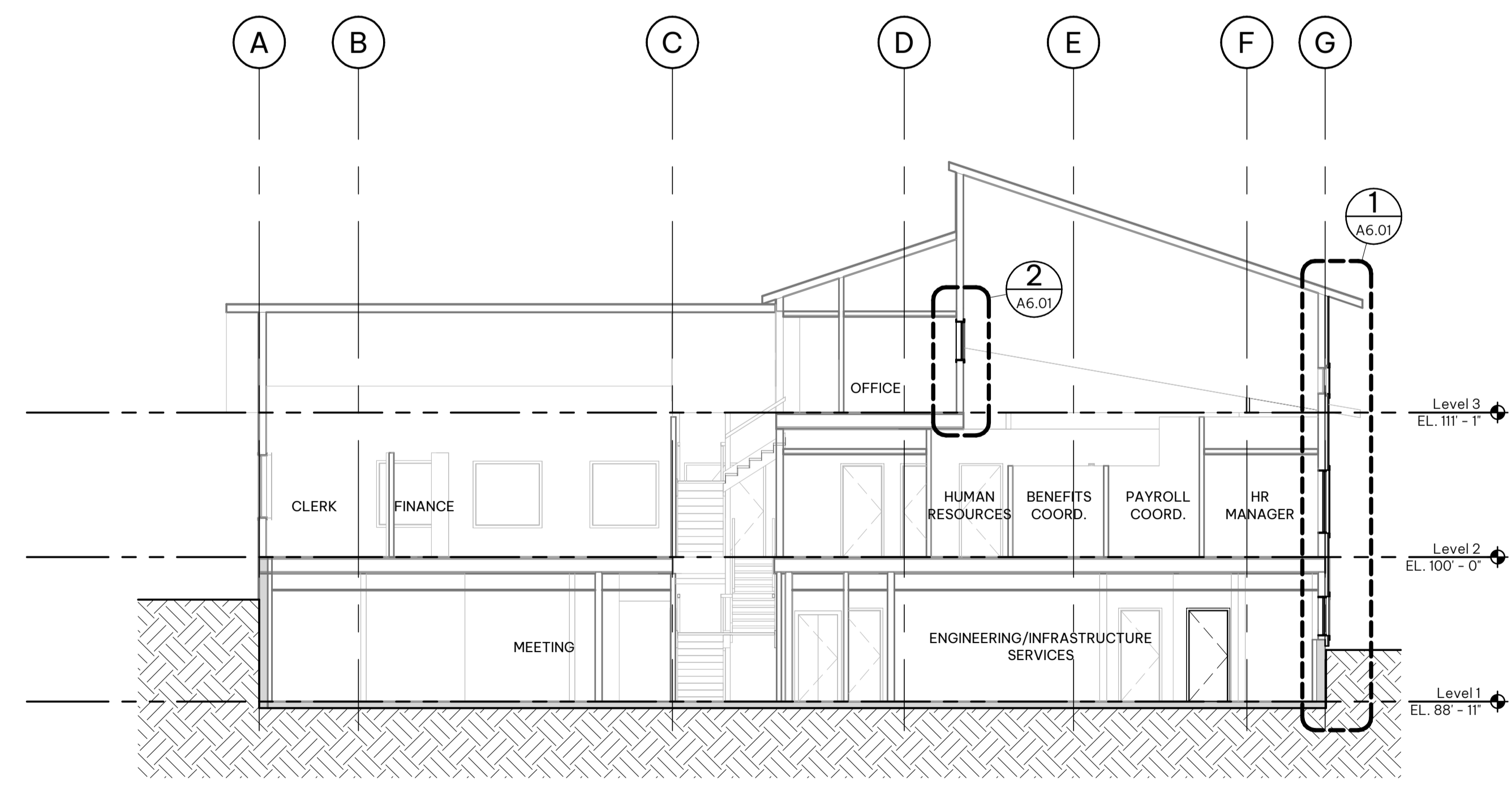
A5.01



1 Section 1
A5.01 SCALE: 1:100
A2.01



2 Section 3
A5.01 SCALE: 1:100
A2.01



3 Section 4
A5.01 SCALE: 1:100
A2.01

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WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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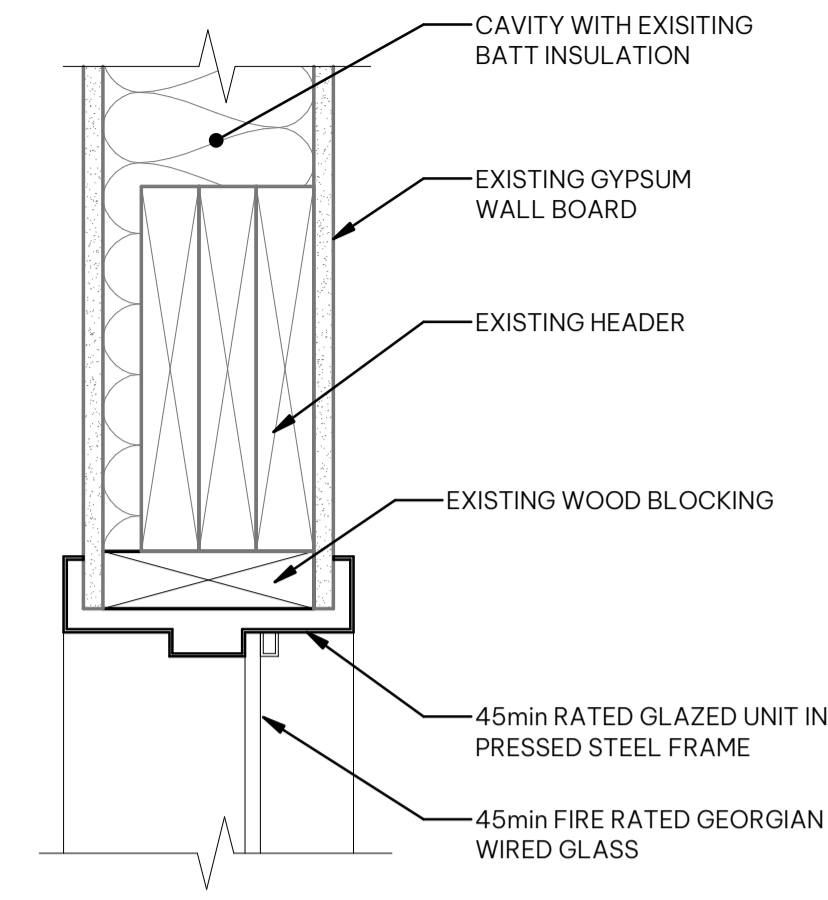
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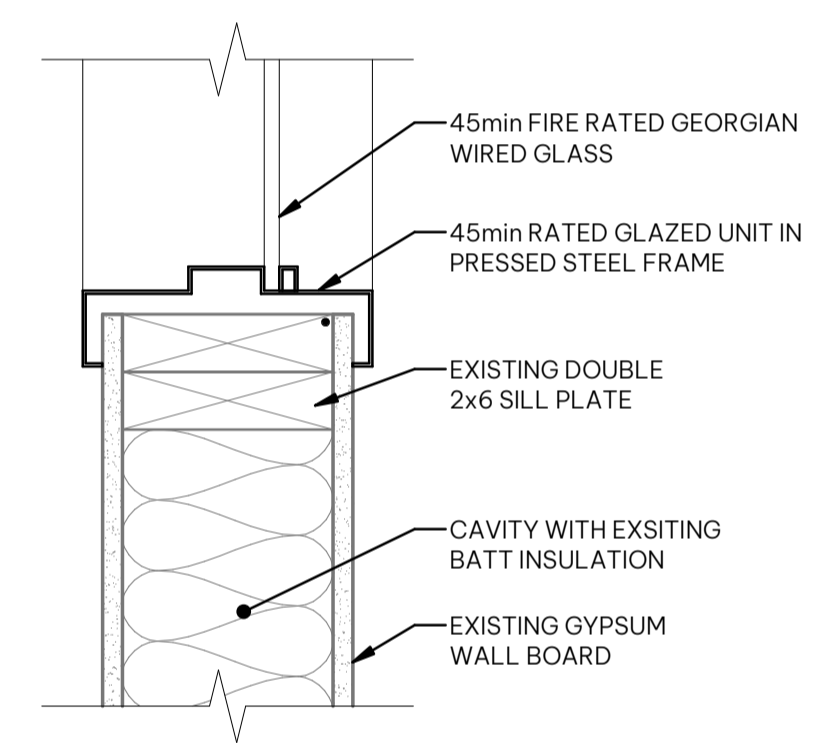
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PROJECT NO.	5330-02-1026-01
DRAWING TITLE	CONSTRUCTION DETAILS

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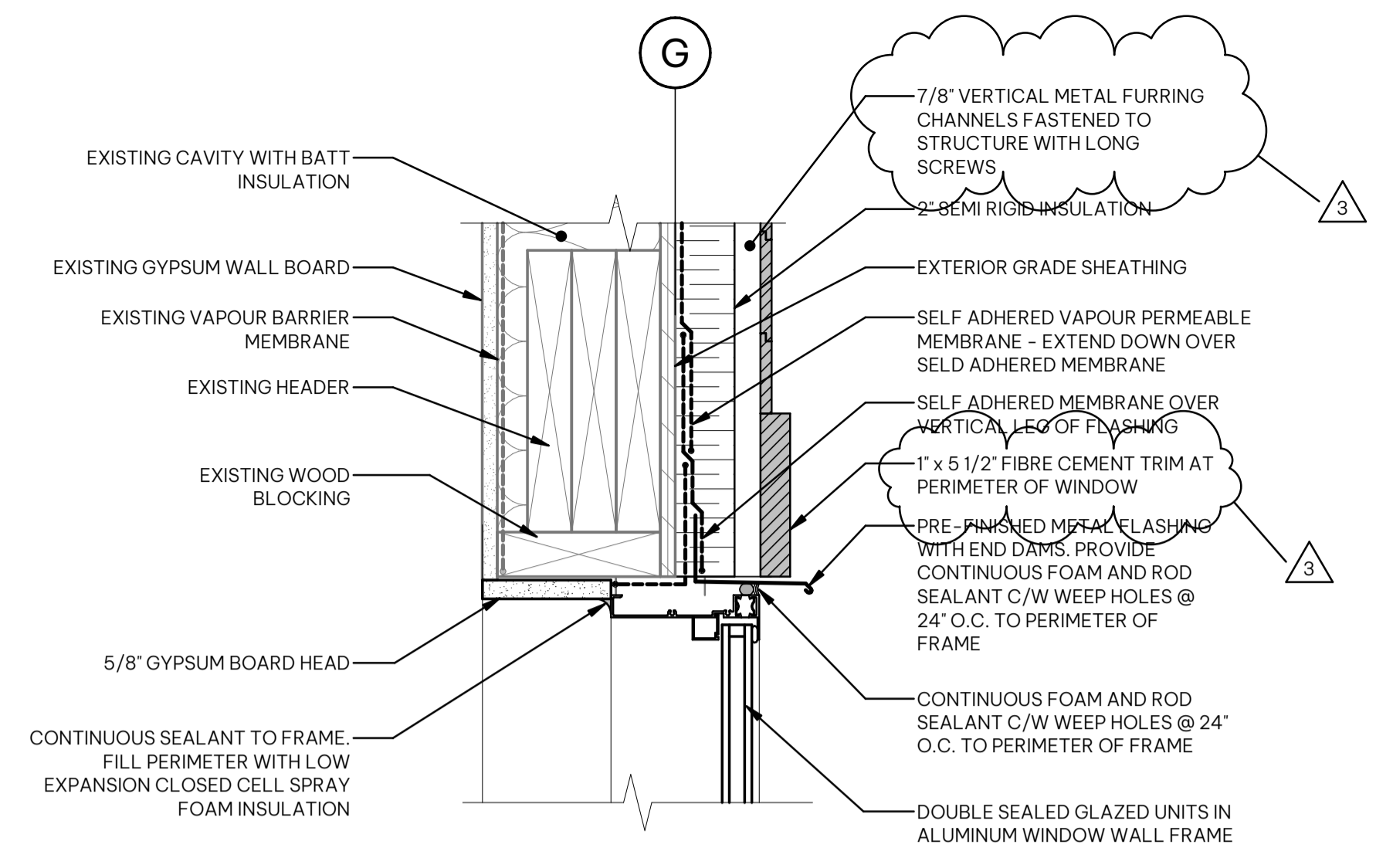
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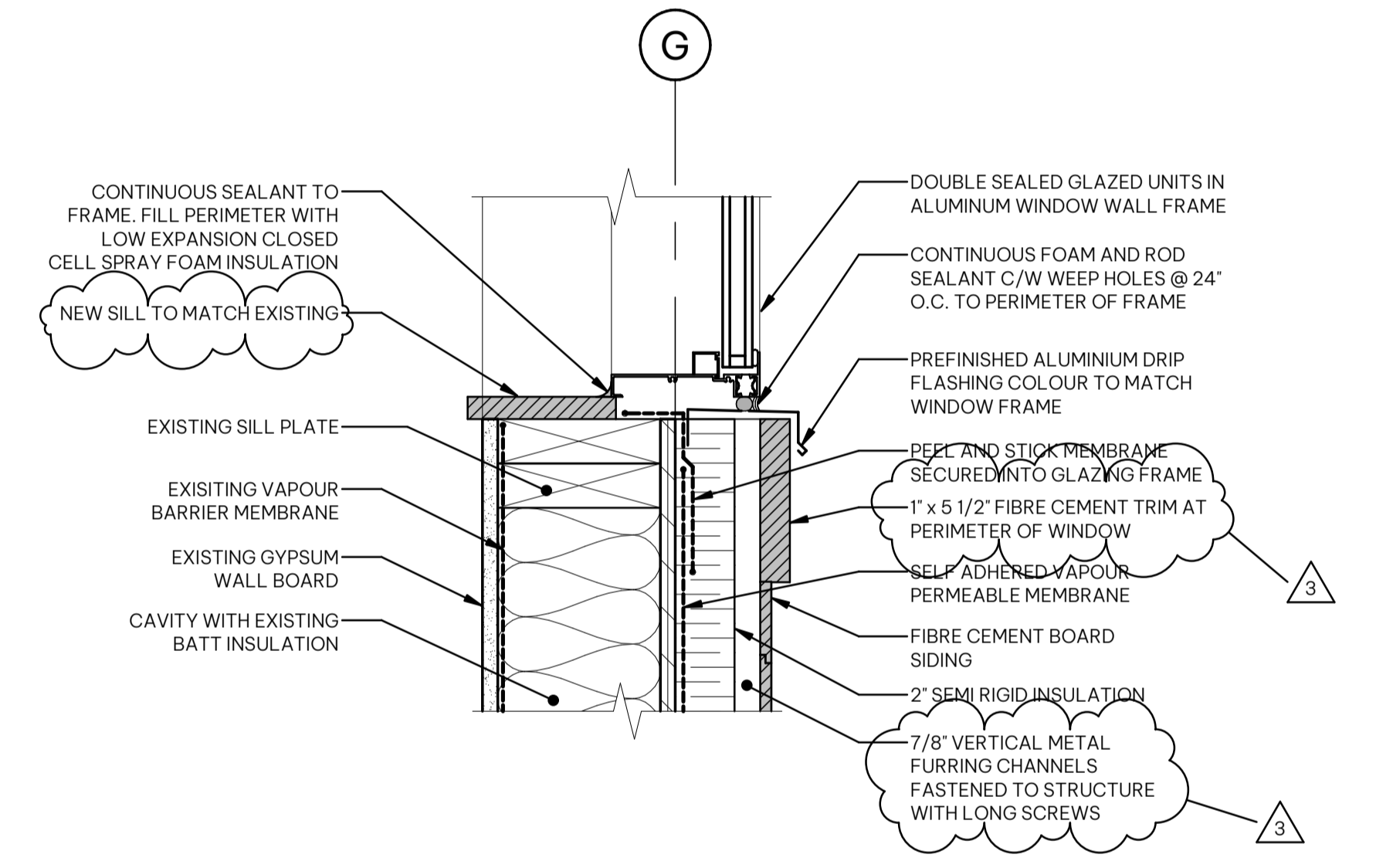
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A6.01 SCALE: 1:5
A6.01



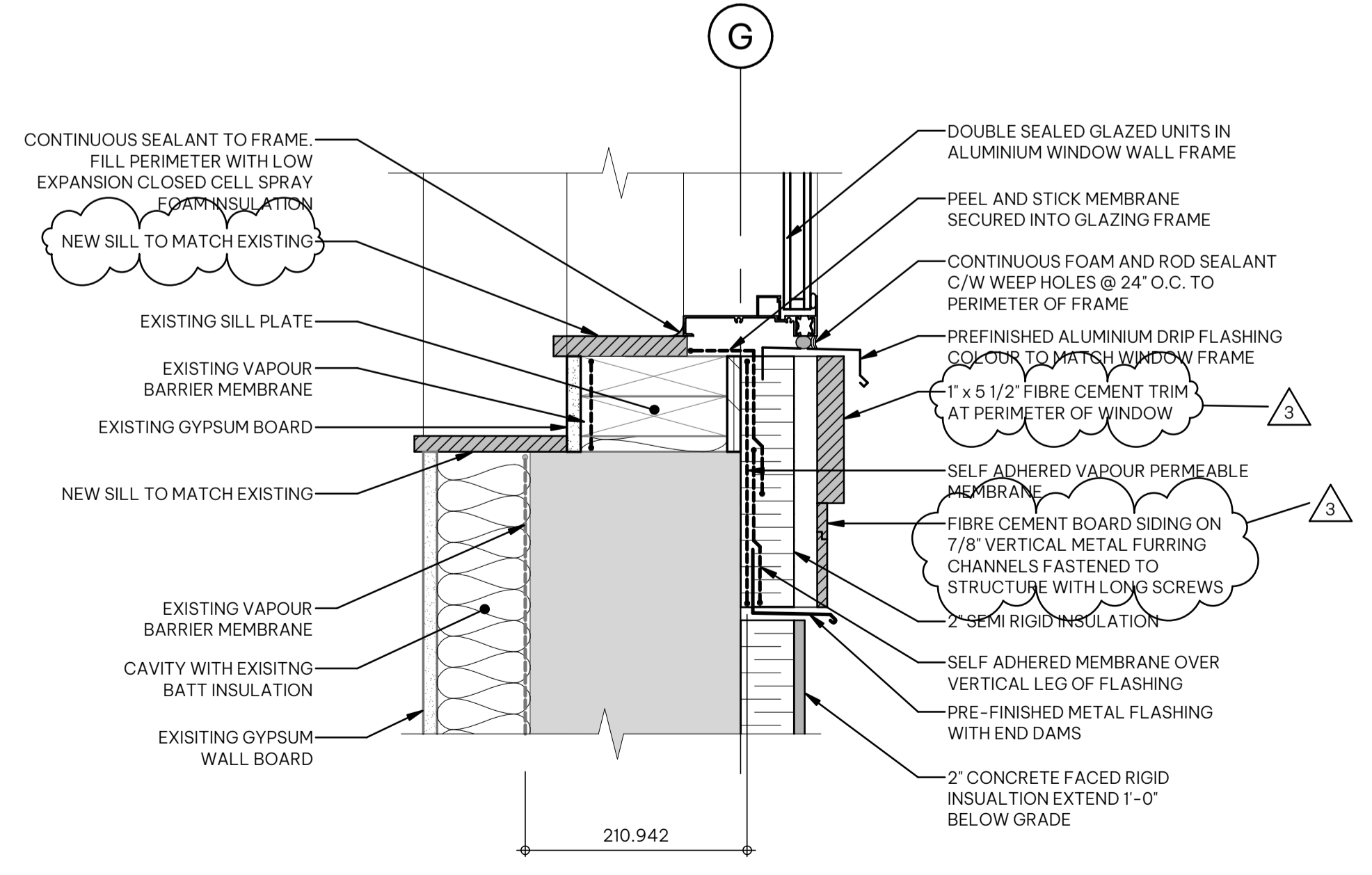
8 Section Detail 5
A6.01 SCALE: 1:5
A6.01



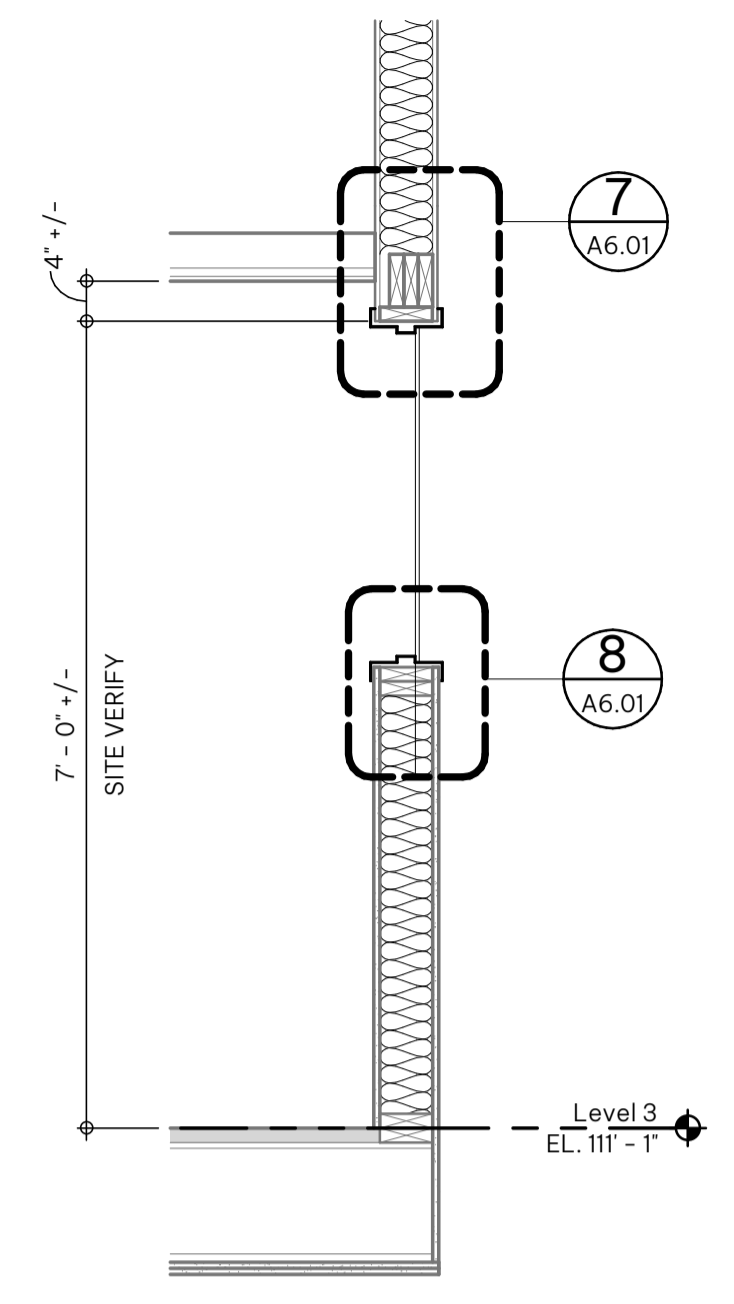
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A6.01



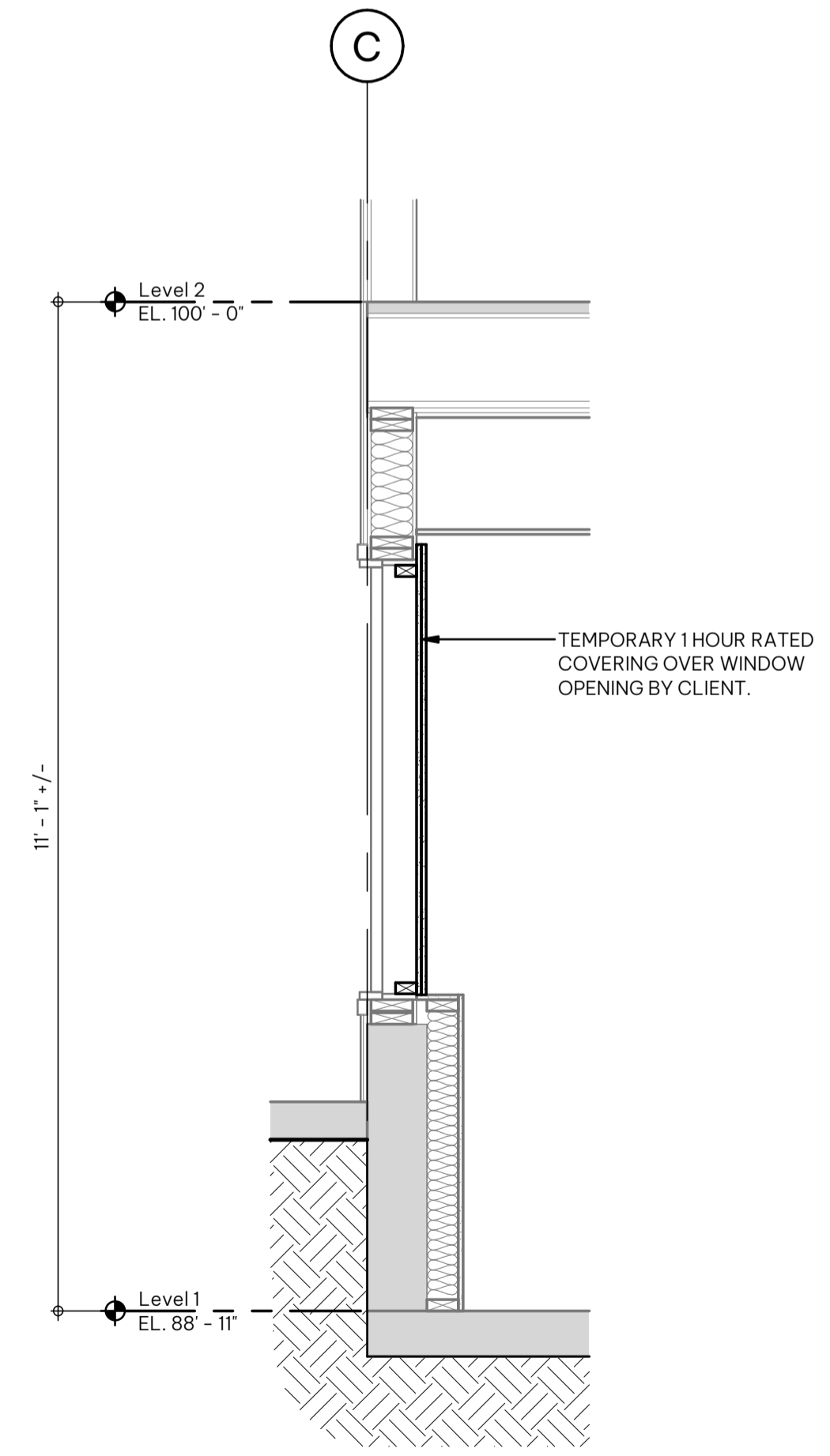
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A6.01



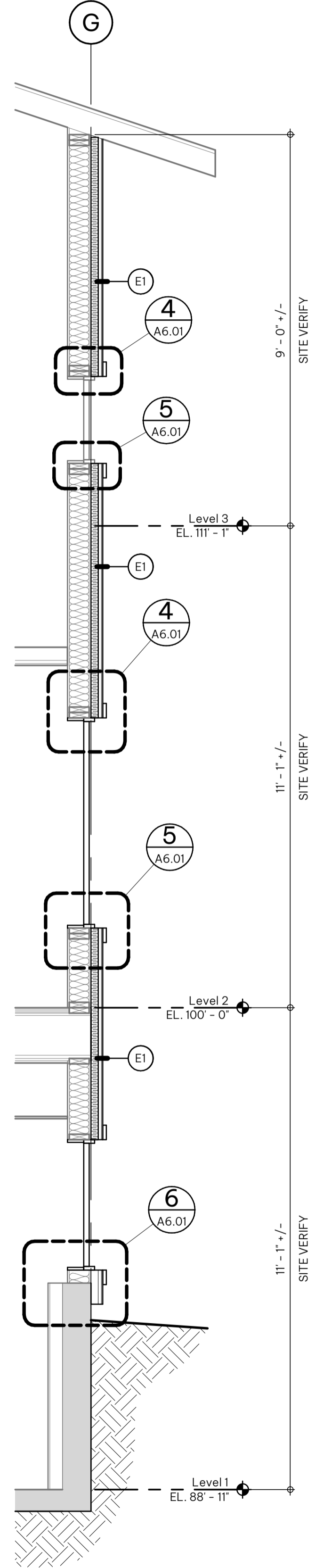
6 Section Detail 3
A6.01 SCALE: 1:5
A6.01



2 Detail 3
A6.01 SCALE: 1:20
A5.01



3 Partial Wall Section
A6.01 SCALE: 1:20
A5.01



1 Wall Section
A6.01 SCALE: 1:25
A5.01

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WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

4325 BLACKCOMB WAY, WHISTLER, BC, V8E 0X5

CLIENT
Resort Municipality of Whistler

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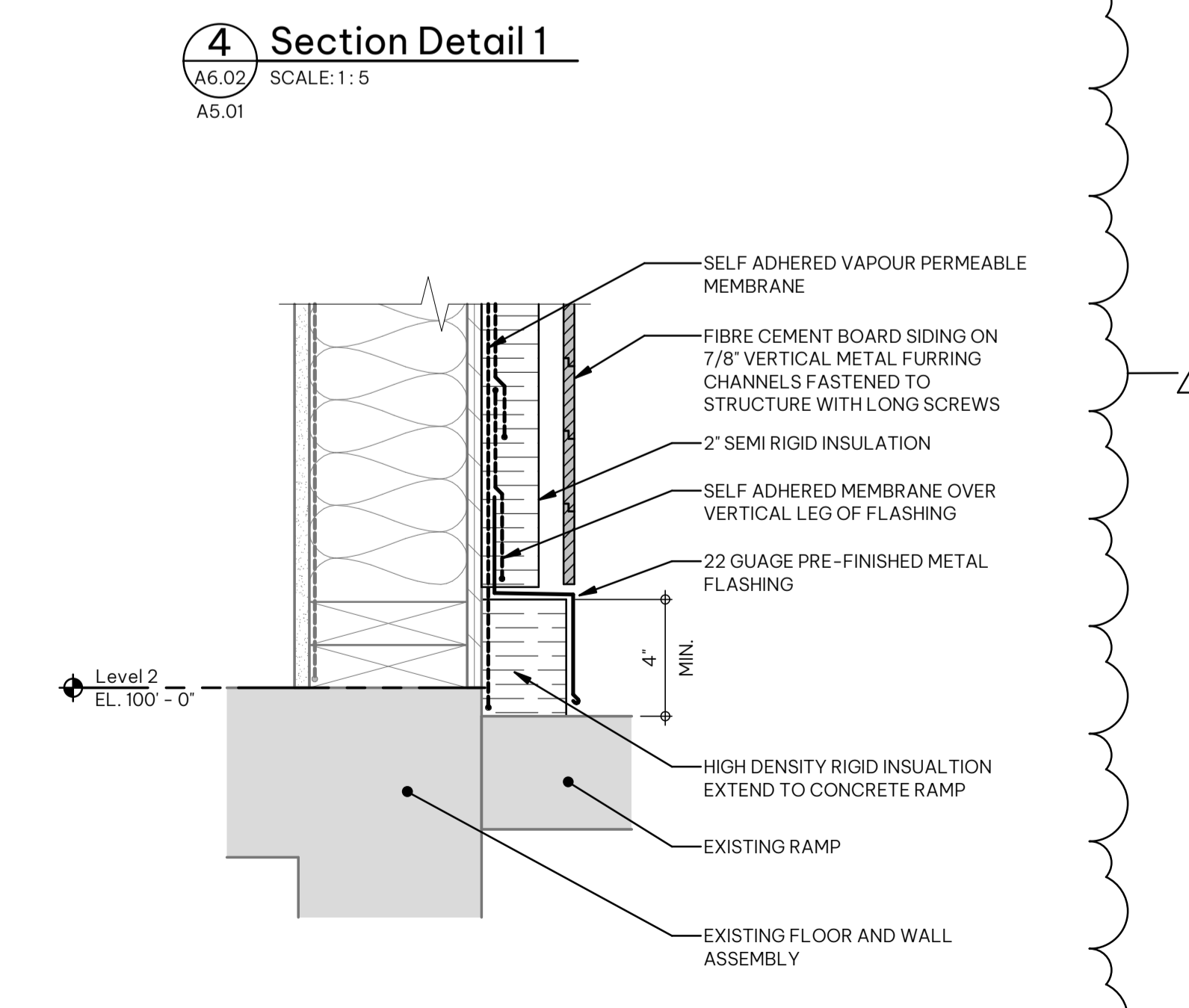
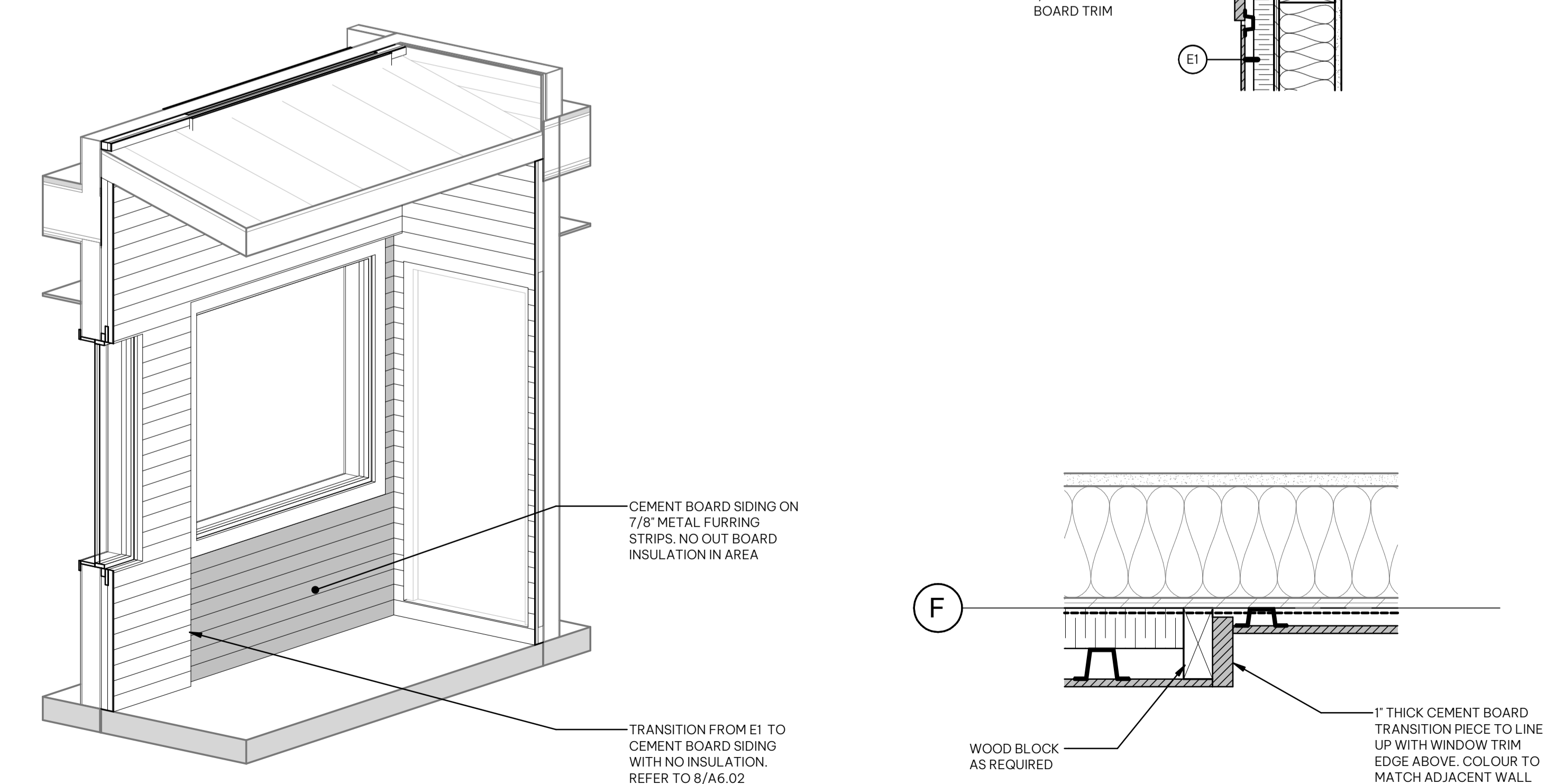
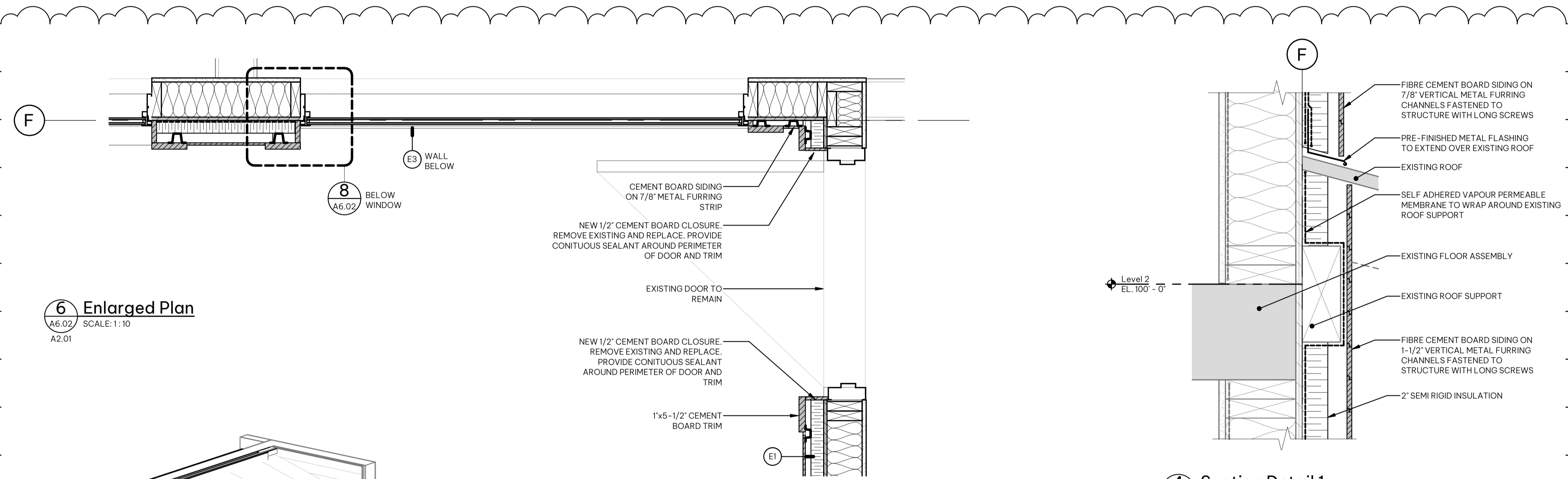
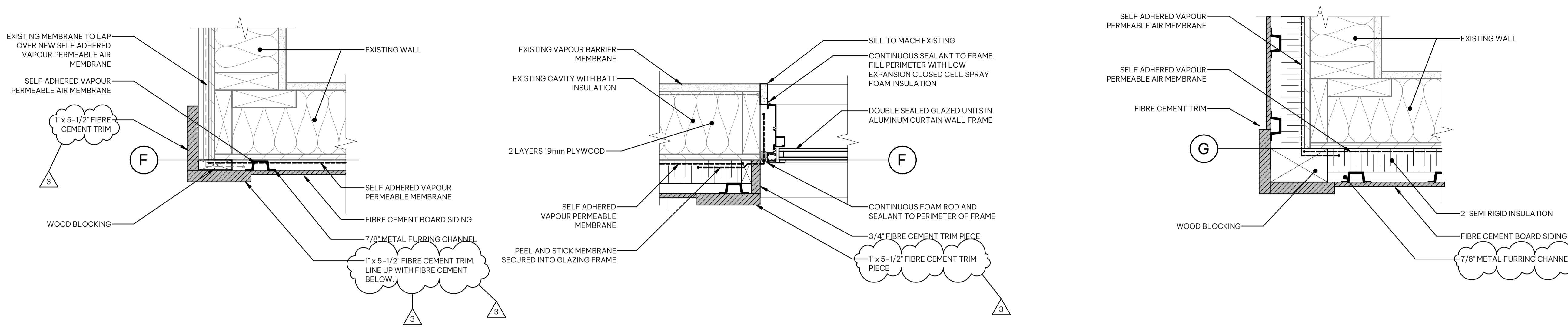
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A6.02



WHISTLER MUNICIPAL HALL ALTERNATIVE SOLUTIONS

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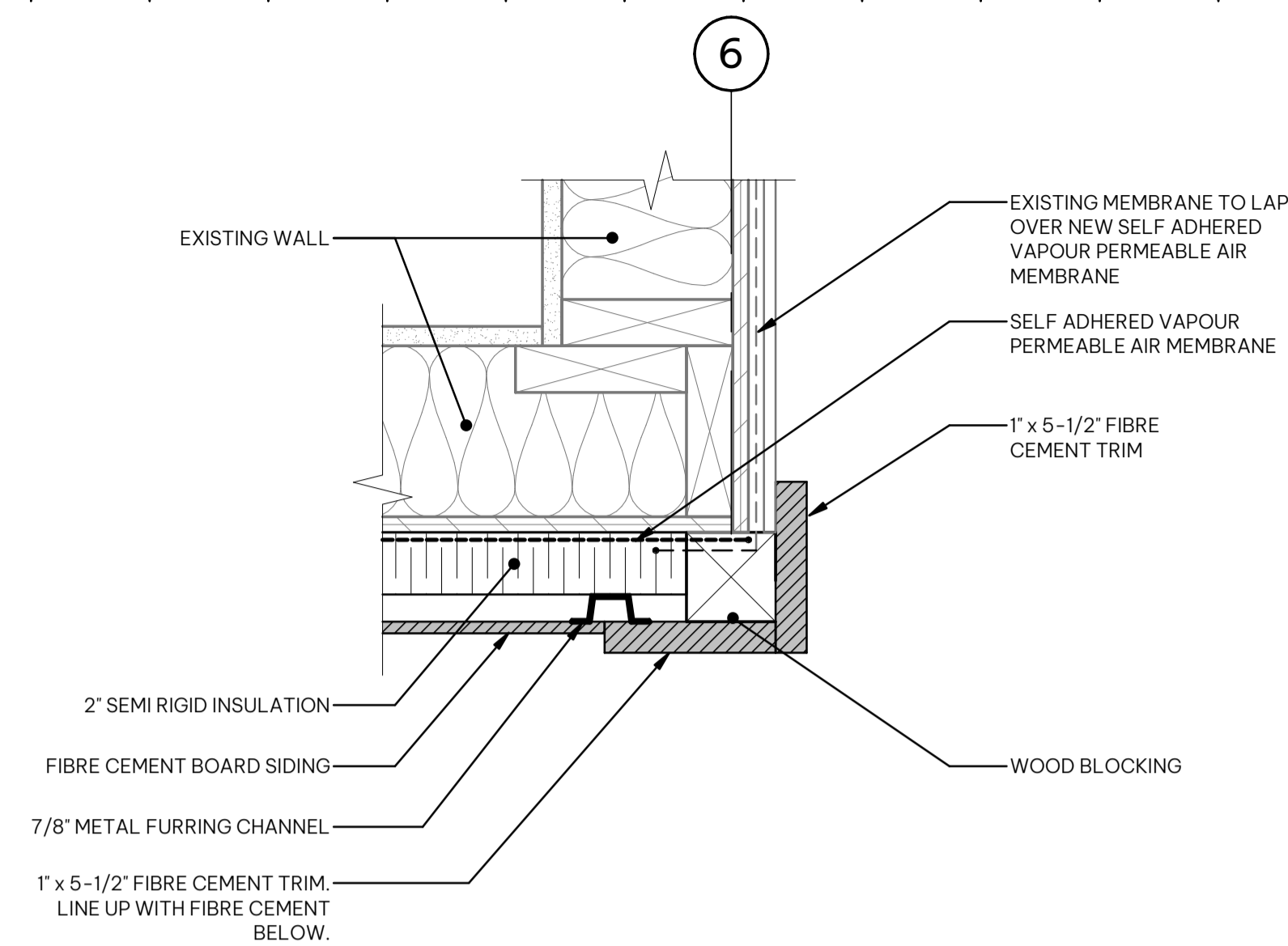
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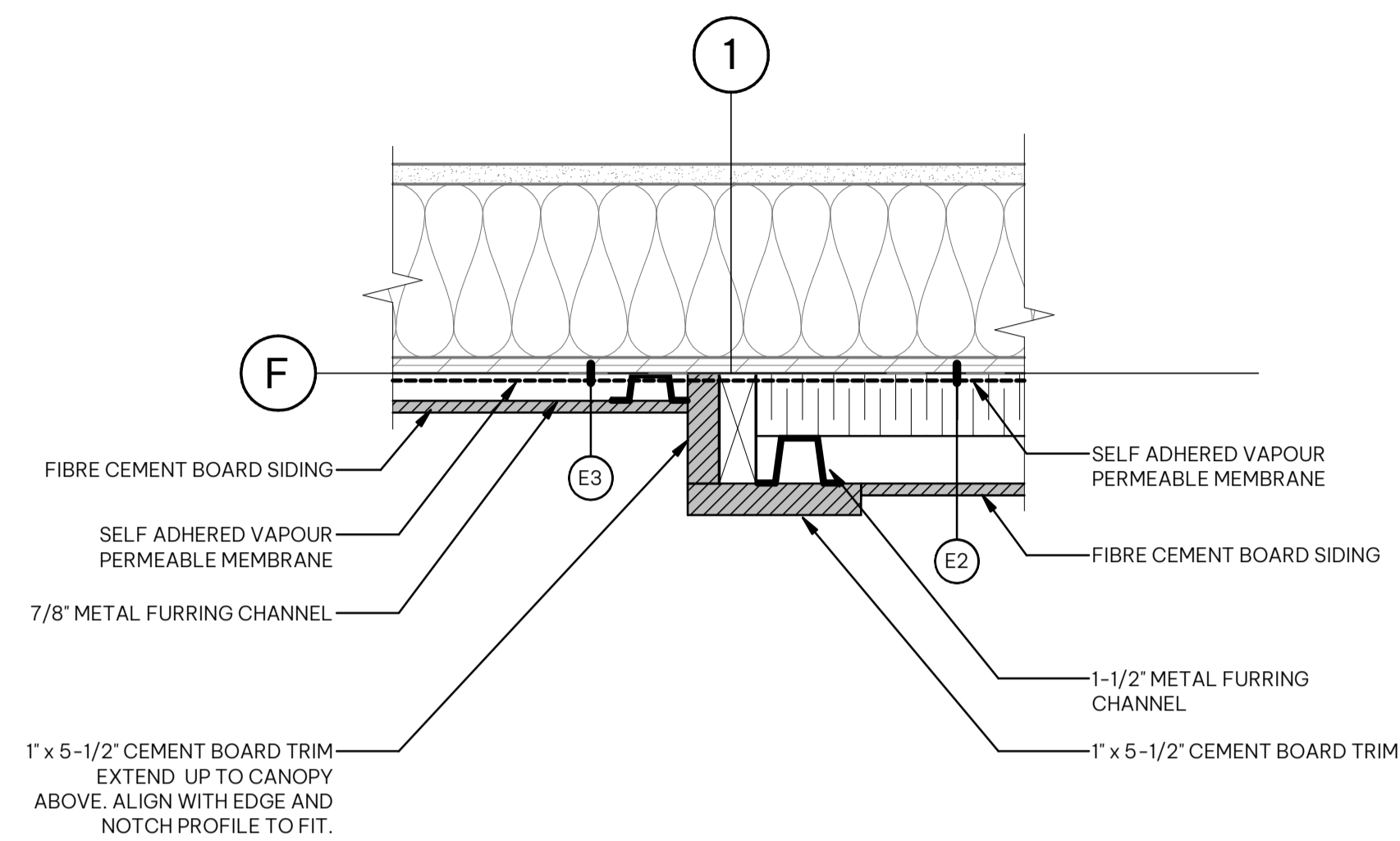
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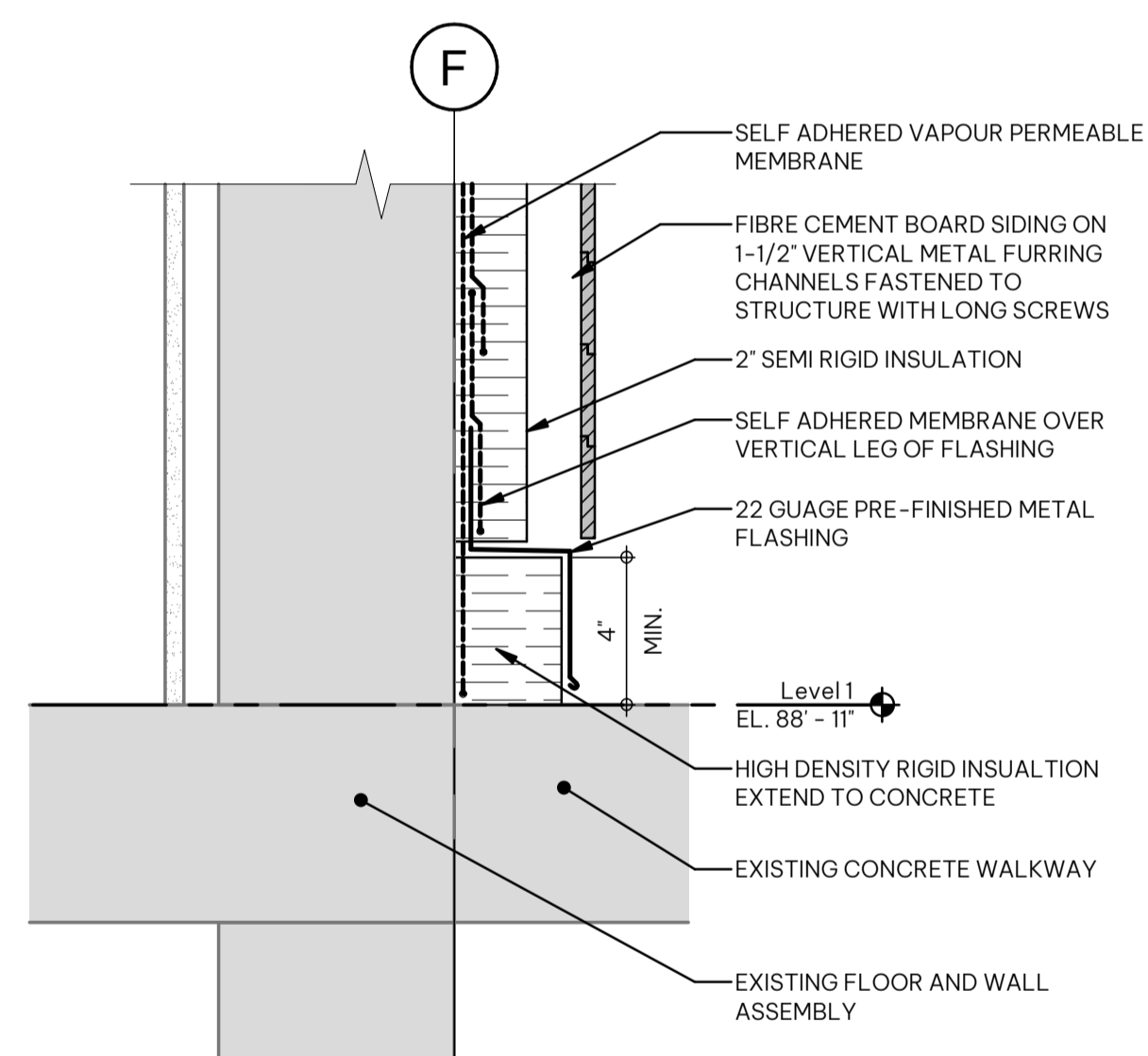
A6.03



1 Plan Detail 1
A6.03 SCALE: 1:5
A2.02



2 Plan Detail 2
A6.03 SCALE: 1:5
A2.01



3 Section Detail 1
A6.03 SCALE: 1:5
A5.01