

Addendum

S2ARCHITECTURE

DATE: July 29, 2024
S2 PROJECT #: 224034
PROJECT NAME: Whistler Municipality Alternative Solutions

ADDENDUM # 01

This addendum amends the specifications and drawings during the tender period, prior to the submission of tenders, to clarify, revise, add to or delete from the contract documents. This addendum shall form part of the contract documents and the amendments covered are to be carried out in accordance with the contract documents.

This Addendum No. 01 is issued to extend the bid submission deadline for the above-referenced project, provide revised Architectural drawings, and to answer RFI's submitted by the general contractor.

Bid Submission:

New Bid Submission Deadline revised from August 05 to August 13, 2024, at 16:00:00

Architectural Drawings

New drawings issued as Addendum#01 dated 2024.07.29 to replace previous drawing set issued on 2024.07.02.

Revisions made to the previous drawing set as follows:

- A0.01 Building Schedules
 - o Revision to Exterior cladding E1 to indicated metal furring and not wood furring
 - o Addition of E2 and E3 walls, indicating changes in metal furring depths
 - o Original P1 wall revised
 - o Door 101 revised to E101. Existing door and frame to be repainted, new door hardware provided by RMOW and installed by GC
- A2.01, A2.02, A2.03 Floor Plans
 - o Enlarged plan of mechanical room added
 - o Keynote legend updated
- A4.01-4.02 Building Demolition Elevations
 - o Demolition Keynote Legend added
 - o Third story windows on west elevations revised to remain
 - o General Note Added
 - 2. New 5.5" window trims to match existing colors
 - o Additional tags added to indicate new siding extents
- A5.01 Building Sections
 - o Detail added for condition under canopy at west walkway
 - o Detail added for wall extent at walkway
- A6.01, A6.02, A6.03
 - o New windowsills to match existing
 - o Window trims removed as they are not part of the original construction.
 - o Wood furring revised to metal furring
 - o Exterior trim revised to 1" x 5-1/2"
 - o Details added on A6.02
 - o Added sheet 6.03 – Construction Details

Sheets issues with Addendum #01 – 19 pages

- * Indicates new sheets added

A0.00 COVER SHEET
A0.01 BUILDING SCHEDULES
A0.02 CODE ANALYSIS
A0.03 PHASING PLAN
A1.01 SITE
A2.01 LEVEL 1 FLOOR PLAN
A2.02 LEVEL 2 FLOOR PLAN
A2.03 LEVEL 3 FLOOR PLAN
A3.01 LEVEL 1 RCP
A3.02 LEVEL 2 RCP
A3.03 LEVEL 3 RCP
A4.01 BUILDING DEMOLITION ELEVATIONS
A4.02 BUILDING DEMOLITION ELEVATIONS
A4.03 BUILDING ELEVATIONS
A4.04 BUILDING ELEVATIONS
A5.01 BUILDING SECTIONS
A6.01 CONSTRUCTION DETAILS
A6.02 CONSTRUCTION DETAILS
*A6.03 CONSTRUCTION DETAILS

RFI Questions:

Q1. Please confirm floor tile spec for existing washroom next to new mech room, that will re and re for new underfloor mechanical layout

A) Remove existing washroom tile, patch and repair concrete slab to allow for new tile installation. RMOW has spare tiles, GC to confirm prior to installation to ensure there is enough.

Q2. Please confirm new and existing mech room floor finishes

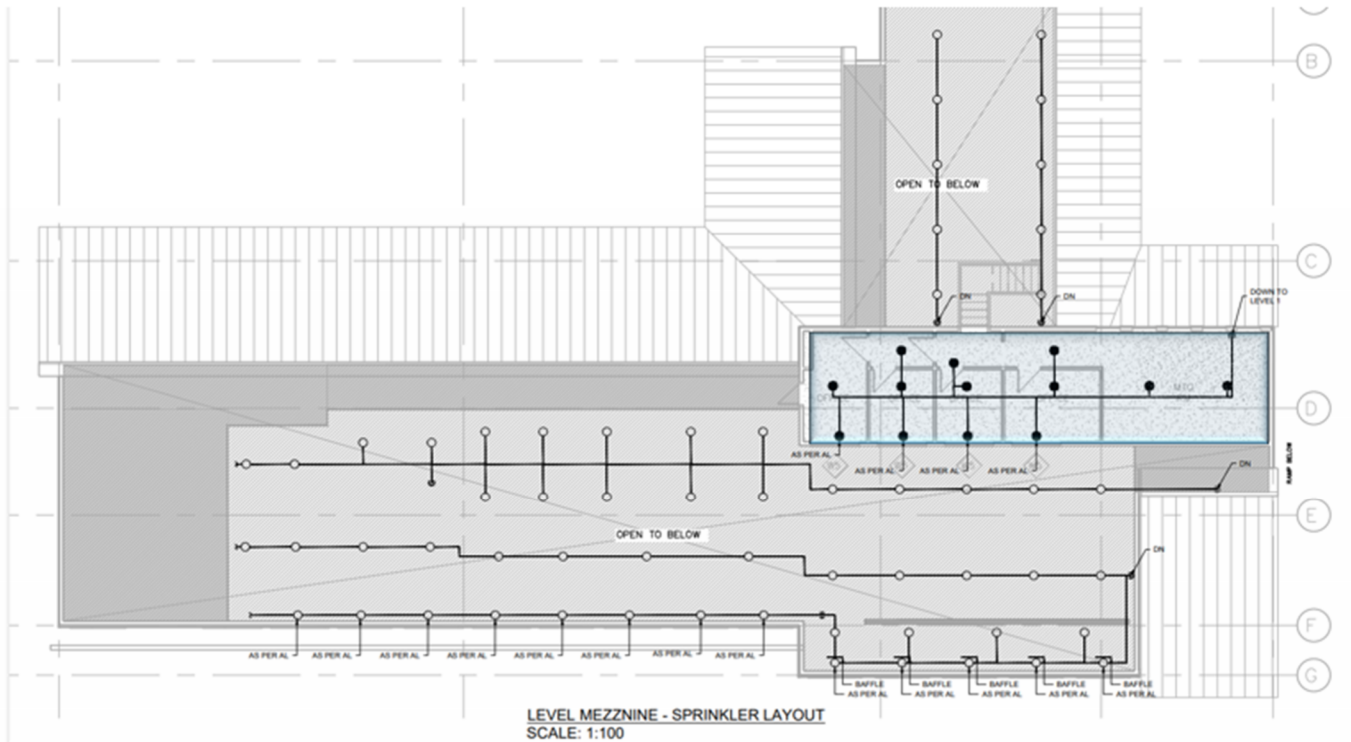
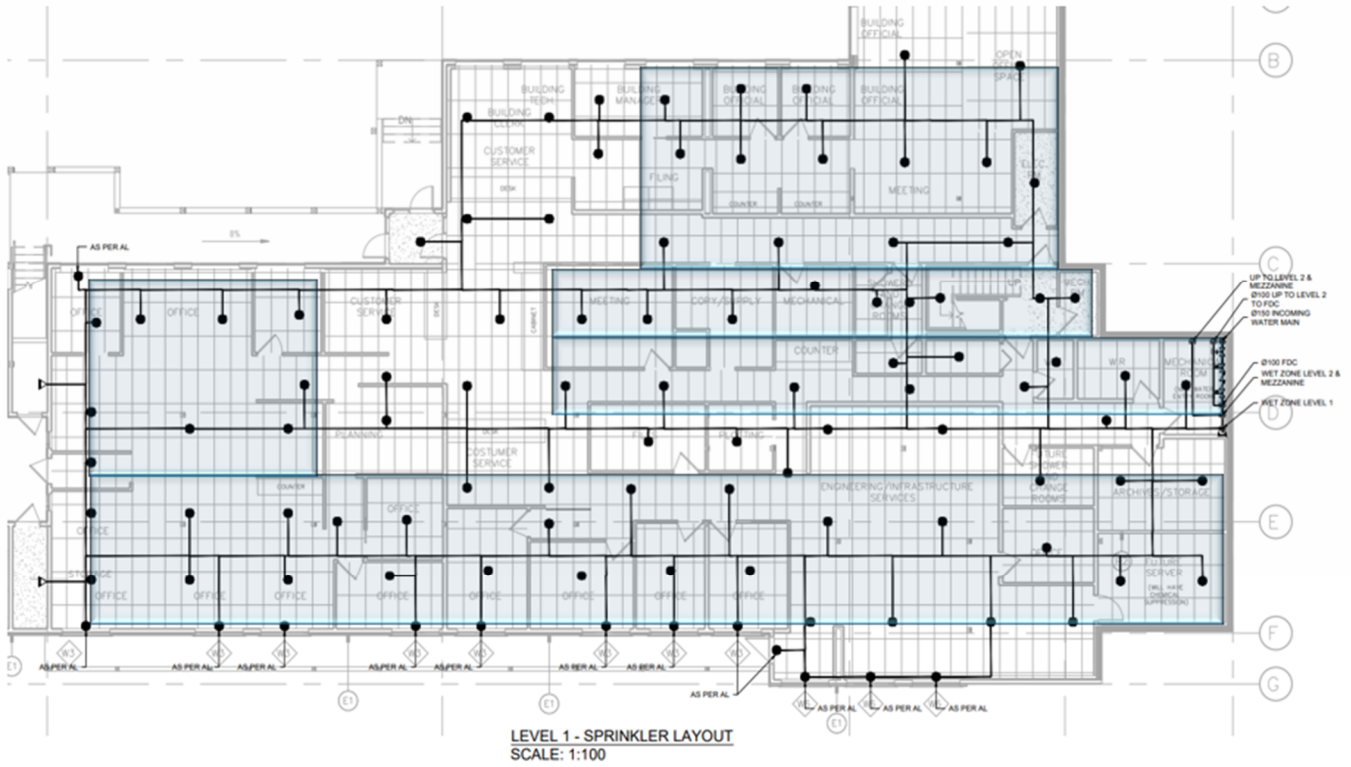
A) Remove portion of existing tile where we will be trenching, patch and repair concrete slab to make ready for new tiles. RMOW has spare tiles, GC to confirm prior to installation to ensure there is enough. Ensure proper slope around floor drain.

Q3. Please confirm if Contractor should carry cost for structural engineering on floor slab remove and and re-install or if Municipality will cover cost of Engineering.

A) GC to carry cost of structural engineer

Q4. Noted on site walkthrough that sprinkler main lines will need to be surface mounted in select areas, please confirm exact locations where sprinkler main line will be surface mounted, and exact areas main line will be in ceiling cavity.

A) Areas highlighted in blue are locations where surface mounted sprinkler mains are permitted.



Q5. Please confirm if any insulation or box out details are required to attic cold space?

A) Under review, will be included in next addendum submission.

Q6. Please confirm if third floor steel cased windows are being retained?

A) Third floor steel cased windows to remain. Architectural to revise A4.02 to indicate windows not to be removed in next addendum submission.

Q7. Regarding the face mounted ledger plate for exterior canopy structure. Please confirm how this should interface with new insulation/siding.

A) With the new insulation and furring channel, we should be past the ledger face and will be able to run the new Hardie finish in front and up to the underside of the canopy. Architectural will include in next addendum submission.

Q8. Please confirm boundaries of old and new siding and exact transition detail?

A) West Elevation Demo on A4.02 indicates area of existing siding to be removed. West Elevation A4.04 indicates area of new siding. A6.02 indicates plan details for corner and transition conditions.

Q9. Please confirm there will be no soft scaping within the contract, RMOW will cover any soft scaping works that may be required where scaffold has been erected above plants etc.?

A) RMOW to carry soft scaping fees, GC is responsible to ensure proper protection is in place to minimize any damage to existing structure and landscaping.

Q10. Please confirm how lower floor windows close to grade will be protected from the snow build up?

A) No new protection at grade windows, GC to tender like for like.

Q11. Please confirm arrangements for temporary power supply on site for duration of the works.

A) RMOW to supply temporary power

Q12. Are we to assume all existing floor packages meet 45min fire rating?

A) Yes, all floor packages to maintain 45min fire rating.

Q13. Is the wood soffit, in areas affected by siding work, getting replaced with a non-combustible material?

A) No, the new finish is to go up to the existing soffit. Architectural to provide detail on revised drawings in next addendum submission.

Q14. Is the siding on West side of bike storage room getting replaced with same assembly as rest of highlighted areas. This area is not heated or living space. Can we stop our siding assembly at grid line 1?

A) No, new siding as per the "Alternative Solution Report" page 22-24 as to span the entire length of the west side.

Q15. Kawneer does not offer sliding window operation options for the AA 6500 model. Can we revise window operation to casement?

A) RMOW has approved casement windows.

Q16. How many office spaces can maybe made vacant at once for each phase of window and sprinkler fitting?

A) 15-20, GC to coordinate with RMOW on site.

Q17. What thickness of furring strips should we use on exterior? (Picture attached)

A) 7/8" Metal furring channels. Revised from wood furring.

Q18. Can you provide section drawing for bottom of wall where siding meets wheelchair ramp?

A) Will be included in next addendum submission.

Q19. Whistler-code-upgrades-SPEC document calls for Z Bars to support exterior finishes. Section drawings show wood rain screen detail. Which method is preferred for exterior finish install?

A) Wood rain screen detail revised to metal furring channel.

Q20. Has asbestos removal been completed, and will any know asbestos remain prior to work commencing?

A) Testing has been done as per the report provided. RMOW has contracted further removal on August 10th therefore all asbestos will be removed prior to work commencing on this portion of the project.

Q21. Route for 4" floor drain is not shown on mechanical drawings, can you provide?

A) RMOW has identified location of existing 4" pipe location north of new drain. GC to provide estimate for 20'-0" routing.

Q22. Where is the fire door that is spec'd in the door schedule located in the building?

A) Door indicated was for future server room which is no longer in scope of work.

Q23. Can you provide a top-down section detail for where our new exterior siding assembly meets existing?

A) Detail 1/A6.02

Q24. Are heat pump line sets remaining mounted to exterior of siding?

A) Heat pump lines to be removed and reinstalled in the exterior insulation layer of the new wall assembly (i.e. after air barrier installation is complete)

Q25. Working hours are 07:00 - 18:00 Monday to Friday as per Project Manual. As per site meeting, trenching work will need to be completed over weekend hours. Is work permitted over weekend and will overtime rates be paid?

A) Working hours to be 8:00-20:00. RMOW has approved weekend and overtime rates.

Q26. Interior Paint - Level 1 Mech room and W.R - will these rooms require paint to walls?

A) GC to patch and repair existing walls to accept new paint. Paint to match existing colour, to be eggshell and scuff resistant. Coordinate with RMOW with paint colour.

Q27. Interior windowsills - Noted that new sills and trim required where new windows are being installed - please confirm specification for wood and whether these will receive stain/paint?

A) New sills to match existing. Intent is to remove and reuse if possible.

Q28. Window Exterior trim - Please confirm thickness and width of hardie trim material.

A) 1" thick x 5-1/2" wide

Q29. Drawing A6.01 - wall section indicates temporary window openings will be supplied by Client, please confirm this is correct.

A) Yes, temporary window closure will be installed and removed by RMOW.

Q30. Drawings A6.02 - Section detail indicates 1.5" furring strips, elsewhere 1/2" called up? please confirm which is correct?

A) Furring strips to be revised to 7/8" metal furring channels attached to structure with long screws.

Q31. Please confirm breezeblock detail for top of siding?

A) Not required

Q32. Please confirm acceptable materials for building wrap, is tyvek commercial building wrap an acceptable solution?

A) No, self-adhered air barrier membrane only.

Q33. Drawings A2.01-A2.03 - Please confirm extents of fire rated glazing, drawings indicate all windows labelled as "C1", are to receive fire rated glazing. Window schedule shows one type of window receiving fire rated glass only. Please confirm.

A) Architectural C1 note revised to "REMOVE EXISTING WINDOW. PATCH AND REPAIR OPENING TO ACCEPT NEW FRAME AND WINDOW". Fire rated glazing only applied to W5 Windows on level 3.

Q34. Door hardware - please confirm hardware for new server room door?

A) RMOW to provide door hardware. GC to coordinate on site.

Q35. Final Construction clean up – Should general contractor include for final construction clean throughout full area of building following sprinkler install?

A) RMOW has requested to provide cleaning in phases as staff will be returning to their offices once work is completed in those areas.

Q36. Note 7 page A4.02 "Contractor to verify exterior sheathing is in good condition prior to installation of new wall finish. Patch and repair small areas. For large areas coordinate with Architectural professional prior to removal" These works are concealed and therefore cannot be included in our bid, please confirm replacement of sheathing board is not to be included in bid total.

A) GC to include \$2000 allowance in contract for sheathing repair and replacement.

Q37. We are reviewing the bid opportunity for Whistler Municipal Alternate Solutions. We note the below requirement regarding COR and wish to confirm if this stipulation will in fact stand. We are not currently in possession of COR certification but have done 3 major projects for RMOW successfully in 2022 and considered ourselves very qualified for this work and our safety history is without significant incidents.

A) The RMOW has approved the COR is not required.

Q38. Please advise if we should proceed with our bid preparation given the above or if the RMOW intends to hold this policy as an absolute requirement.

8. Safety

- .1 Bids will only be considered where the Bidder has received a valid Certificate of Recognition (COR) as issued by the British Columbia Construction Safety Association or other certifying organization authorized by Human Resources and Employment, indicating compliance with Bill 48, prior to Bid closing. Provide a copy of the Certificate of Recognition (COR) with the Bid. Any Bidder that cannot provide the above mentioned proof of accreditation will have their Bids rejected for non-compliance.

B) RMOW has approved the COR is not required.

Q39. We have one more question please to add to our RFIs.

- For bonds, would you like Xenex bonds or a hard copy?

A) Both are acceptable

Q40. Please confirm the required completion date for the project.

A) Completion to be done before December 31st, 2024

Q41. Please confirm the value of the building for the course of construction insurance.

A) \$9,922,300 CAD

Q42. Appendix A- What category do you want bonding and insurance costs entered in?

A) Add category "Bonding/Insurance"

Q43. Appendix A- What category does site set up, fencing, recycling and garbage, project management, meetings, etc fall under?

A) Add "General" for all other costs not accounted for, add "Site" for all items related to site work

Q44. What is the estimated timeline for completion of the new 6" water main once we have excavated?

A) 6" water main in contract, GC to confirm estimated timeline.

Q45. Who is completing the water main piping work? Will it be handled by the RMOW?

A) Water main installation is part of this contract.

Q46. Is the RMOW providing piping for the new 4" floor drain up to the building?

A) GC to connect new 4" floor drain to existing building system, refer to drawings.

Q47. Will any of the sprinkler system piping be run in cold spaces?

A) This item is currently being reviewed by sprinkler engineer and a response will be issued as a separate addendum

Q48. As described in General Requirements on pages: 14, 15, and 16; Is the contractor responsible for paying all (electricity, water, etc.) usage costs over the duration of the project?

A) No requirements for contractor to pay for any services or setup sub metering during the project.

Q49. Is the contractor required to set up devices to metre utility usage?

A) No requirements for contractor to pay for any services or setup sub metering during the project.

Q50. Are there any as-built drawings for architectural/structural available for review?

A) No

Q51. Is there an RCP showing existing light fixtures and smoke detectors?

A) Contractor to site verify location of all devices

Q52. Floor Joist Directions

- o This is needed to identify if there are any sprinklers being installed "Parallel In-Joist" at a FRR Floor Assembly, which would require the joist spaced to be boxed out & fire-taped prior to installation.

A) All floor assemblies to maintain 45min fire separation, sprinkler piping to run underneath floor structure.

Q52. Smoke Separations

- o Locations of Structural Walls
 - Penetrations of new Fire Sprinklers into these may have specific UL requirements.
 -

A.) All existing service rooms and rated stair assemblies to maintain current fire separations.

- o Alt Solutions Report [P11 & P12]

- Could the border of the BLUE areas be used to determine the FRR borders?

A) No, the drawings on page 11 and 12 of the alternative solutions report indicate location of required smoke detectors

Q53. Sprinkler System:

- When will we see addendum with modified sprinkler design as per site review July 11th?
- Are we moving forward with surface mounted sprinkler mains in common areas? Which levels? Will we see a modified drawings with design before bid closes?

A) These items are currently being reviewed by sprinkler engineer and a response will be issues as a sperate addendum.

Q54. Plumbing:

- Will it be acceptable to bring the new water service pipe through the South foundation wall rather than under the footing and up through the floor?

A) Acceptable if a structural review has been done to ensure existing foundation can accommodate opening.

Q55. Electrical:

- Are there any electrical as built drawings?
- Is there an RCP showing existing light fixtures and smoke detectors?

A) No "As built Drawings" are available, contractor to confirm light fixture and smoke detector locations on site.

Q55. Siding:

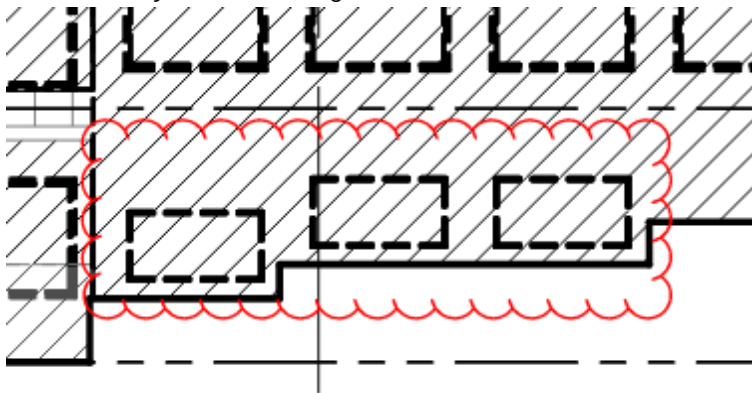
- A2.02 - Please confirm that all the C1 notes, including the one at the Siamese connection are incorrect. Please add the correct notes.

A) Revised as per Addendum #01 drawings issued

- A0.01 Calls for 1/2" wood strapping for rainscreen. A6.01 calls for 1-1/2" furring strips for rainscreen. Please confirm what the correct rainscreen depth is.

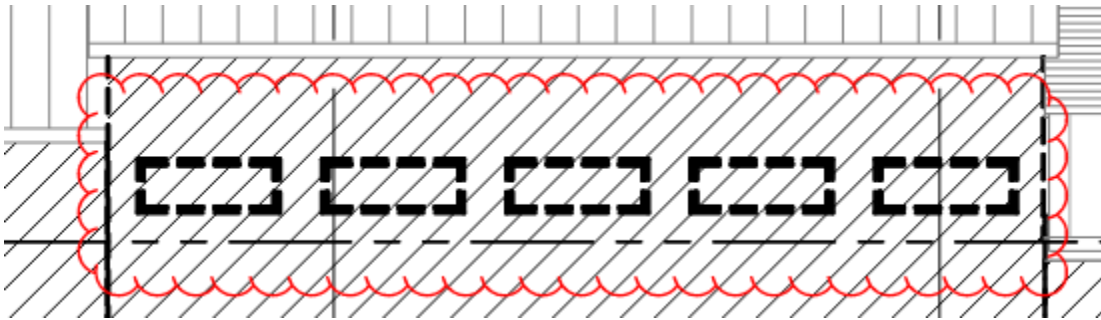
A) Revised to indicate metal furring channels. Size revised as per new E2 and E3 walls.

- A4.02 The 3 windows below are shown to all the all the others on this elevation and the demolition legend does not define this style. Is something different to be done with these windows?



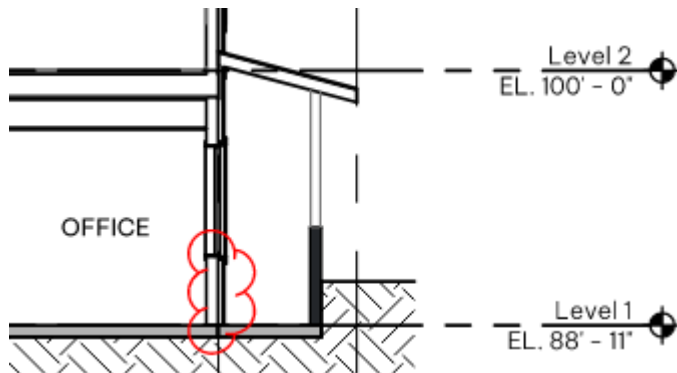
A) Dashed line currently shown in elevation drawings indicates existing windows to be removed.

- A4.02 The 5 windows shown below are currently not aluminum windows and look to be steel frame with wire glass. Please confirm if these windows are to be removed and replaced with new aluminium windows



A) Windows to remain, refer to revised drawings issues with Addendum #01.

- A5.01 Section 3 Grid Line F - The wall below the window here is currently exposed concrete foundation wall. What is the new proposed finish to be? Is concrete faced rigid insulation to be installed 12" below grade in this location as detailed in Detail 6 on A6.01?



A) New finish to extend to concrete walkway, refer to A6.03 for updated details

Q56. Doors & Windows:

- Where is D101 located. Assume door to new Mech Room?
- A) D101 revised to E101, existing door and frame into new mechanical room to be repainted, include costs to remove existing door hardware and replace with new door hardware provided by RMOW

Q57. Insulation:

- Please verify overall scope - r values/assemblies for pipe insulation in attic space.

A) Sprinkler piping in attic space, currently being reviewed, response to be issues in second addendum

Q58. Drywall & TBar:

- Existing Grid Ceilings

- Main Tee's may need to be upgraded thru-out to FRR specification.

A) Existing T-Bar ceiling to maintain current FRR requirements

- Current MEP Install
 - Are any of the MEP fixtures/systems being upgraded, to be compliant with the new Fire Sprinkler system?

A) New sprinkler system and new smoke detectors to tie into existing fire panel

- Assemblies
 - P1 & P2: Please advise if these are noted on the drawings. Cannot locate.

A) P1 tag to be removed as this item no longer in scope of work
P2 tag revised to P1 and is in the second-floor washroom to conceal piping from new mechanical room.

- Future Server Room
 - Chemical Suppression: Any implications to scope?

A) Future server room and door not in scope.

Safety:

- Is COR certification mandatory? We have completed 3 major projects for RMOW successfully in 2022 and consider ourselves very qualified for this work and our safety history is without significant incidents. Please confirm.

A) COR Not required as per RMOW

End of Addendum # 01